

Department of Building Inspections



Franklin County Local Board of Building Code Appeals

Agenda

November 13, 2023

- I. Call to Order
- II. Roll Call
- III. Consent Agenda
 - A. Approval of October 16, 2023 Minutes
 - B. Approval of October 26, 2023 Minutes
- IV. Public Hearing
 - A. **PETITION TO APPEAL**- Petition of Craig Caron, applicant, to appeal the building official's four notices of violations, all dated September 5, 2023, regarding the property located at 197 Compass Cove Circle in the Gills Creek Election District of Franklin County and further identified in the Franklin County real estate records as Tax Map/Parcel Number 0350105300. In the four separate notices, the building official determined the applicant violated 2018 Virginia Residential Code Section R703.10.2 (Fiber Cement Lap Siding); R506 (Concrete Floors (On Ground)); R406.1 (Concrete and masonry foundation damp proofing); R406.2 (Concrete and masonry waterproofing); and Virginia Uniform Statewide Building Code Section 112 ("Damage to regulated building components caused by violations of this code or by the use of faulty materials or installations shall be subject to the applicable provisions of Section 115."). The appeal documents stating the full grounds for the appeal are available for review online at the link provided below or in person at the address also listed below (APRQ-10-23-17803).
- V. Adjourn

THE FRANKLIN COUNTY LOCAL BOARD OF BUILDING CODE APPEALS HELD THEIR ANNUAL MEETING ON MONDAY, OCTOBER 16, 2023, AT 10:00 AM IN THE B-23 CONFERENCE ROOM OF THE FRANKLIN COUNTY GOVERNMENT CENTER, LOCATED AT 1255 FRANKLIN STREET, ROCKY MOUNT, VIRGINIA.

THERE WERE PRESENT: Richard Shively, Chairman
Walter Harper
Jody Lyons (By Phone)
Justin Biller
Nick Jones

OTHERS PRESENT: John Broughton, Building Official
Megan Fenner, Clerk

THOSE ABSENT: Eric Buck

Richard Shively, Chairman, called the meeting to order 10:18 am

Chairman Shively noted attendance of the morning meeting. There were no comments or minutes to review from previous meetings. Chairman Shively advised they would now start the new business portion of the meeting.

Eddie Fort, Roger Jamison, and Jeff Parkhill stepped down from the Local Board of Building Code Appeals. Justin Biller, Nick Jones, and Eric Buck have been selected to fill the empty seats. Mr. John Broughton advised the three (3) new members will be appointed by the Franklin County Board of Supervisors during their regular meeting on Tuesday, October 17, 2023. Ms. Megan Fenner would need to check with Ms. Madherleyn Torres to verify if the new members would finish the existing terms or be assigned a new four (4) year term.

At this time in the meeting, Mr. John Broughton excused himself so the members of the Board could review the materials submitted by the appellant's attorney.

Chairman Shively then described the procedures of the hearing. Special attention was brought to limiting time for public comment. The written standard is three (3) to five (5) minutes per speaker. Members had questions in regard to who would have a limited time to make their comments. Ms. Megan Fenner explained that the Board cannot limit the time of either party. The time limit only applies to third-parties who have an interest in the decision of the Board.

The next order of business was to set a date for the appeal hearing. Board members decided to request an extension outside of the 30-day window so that all could be present and have ample time to review meeting materials. The request was made to set the hearing date to November 13,

2023 at 9:00am in the Board of Supervisors room. A contingency date of Monday, October 30, 2023 at 9:00am was set in the event the extension was not agreed upon by all parties.

Chairman Shively advised they would now hold the annual selection of chairman and vice-chairman. There were no new nominations for chair, and no objections to Mr. Richard Shively remaining as chairman. Mr. Richard Shively will remain Chairman.

Chairman Shively nominated Justin Biller as Vice-Chairman. Mr. Watler Harper seconded the nominations. There were no objections to the nomination. Mr. Justin Biller accepted the nomination and will serve as Vice-Chairman.

During this portion of the meeting, the Board further discussed the four (4) items the applicant was appealing: exterior concrete lap siding is not installed in accordance with manufacturer installation instructions; basement garage/workshop floor cracked, materially more significant than a natural hair-line crack and the slab is consistently less than the required 3-1/2" thickness; floor trusses are damaged and incorrectly installed per manufacturer installation requirements; foundation leaking in two (2) places.

Members of the Board discussed questions they had regarding the case, such as if a Certificate of Occupancy had been issued, and why the violations were issued after a final inspection was completed and passed. Vice-Chairman Justin Biller was able to answer some questions by using supporting documentation from the Board of Building Code Appeals legislation. It was agreed upon by members that both parties of the appeal have a duty to supply evidence and documentation to the Board.

Chairman Shively noted the complexity of the appeal, and suggested members gather for a pre-hearing meeting to review as long as that would not be a violation. Ms. Megan Fenner stated the Board can have a pre-hearing meeting to review materials, but that is all. There can be no decisions made at the meeting, and matters of the case cannot be discussed with either party or outside of meeting as a Board.

Thursday, October 26, 2023 at 9:00am was set as a pre-hearing meeting of the Local Board of Building Code Appeals.

Chairman Shively asked if any members of the Board had anything to discuss. There were none.

The Local Board of Building Code Appeals adjourned at 11:54am.

RICHARD SHIVELY
CHAIRMAN

MEGAN FENNER
CLERK

THE FRANKLIN COUNTY LOCAL BOARD OF BUILDING CODE APPEALS HELD A SPECIAL MEETING ON THURSDAY, OCTOBER 26, 2023, AT 10:00 AM IN THE BOARD OF SUPERVISORS MEETING ROOM OF THE FRANKLIN COUNTY GOVERNMENT CENTER, LOCATED AT 1255 FRANKLIN STREET, ROCKY MOUNT, VIRGINIA.

THERE WERE PRESENT: Richard Shively, Chairman
Walter Harper
Jody Lyons
Eric Buck
Nick Jones

OTHERS PRESENT: Megan Fenner, Clerk

THOSE ABSENT: None

Richard Shively, Chairman, called the meeting to order 09:00 am

Chairman Shively advised the purpose of today's meeting was to meet with Megan Fenner, Clerk to the Local Board of Building Code Appeals, and receive instruction on the purpose and functions of the Local Board of Building Code Appeals.

Megan Fenner, Clerk, presented a PowerPoint presentation summarizing the establishment, membership, conduct, rights of appeal, meetings and postponements, hearings and decisions of the Local Board of Building Code Appeals. This information was pulled from Part 1, Chapter 1, Section 119 of the 2018 Virginia Residential Code.

During the presentation, members of the Local Board of Building Appeals had general questions about public hearings. Megan Fenner stressed the board only had the power to uphold, reverse or modify the building official's decision. These questions included: what dictates a successful motion, and if minutes need to be read aloud during public meetings.

The presentation also included the order and process of public hearings.

Walter Harper asked if public hearings need to be advertised. Megan Fenner answered in the affirmative, stating from this point forward that any time the members gather for meetings it will be advertised. Public hearings will be advertised in the Franklin News Post, on the webpage, and by sign posted on the property going to public hearing.

Megan Fenner stated members can meet as often as they deemed necessary.

Eric Buck questioned the procedure if a board member had a question for the building official or the applicant after the party's designated period for presentation. Megan Fenner instructed members should advise the chairman they have a question, and it would be up to the chairman to

make the decision. Megan Fenner also advised members to only allow the party to answer the given question, and not to present new information or elaborate on other topics.

Chairman Shively strongly encouraged members to ask questions and openly deliberate during public hearings. Megan Fenner seconded the statement, stating members of the public want to see the board engaged and hear their thought process.

Next, the board discussed the procedure for public comment. Citizens would have three (3) minutes to address the board, and if they begin to go off topic the chairman may remind the citizen to keep their comments relative to the building official's decision.

The Local Board of Building Code Appeals decided for cases that include multiple violations, each violation will be voted on separately. Megan Fenner advised preferably; it is not the chairman who makes the motion as they are the deciding vote in the instance of a tie. All discussions must happen during the public meeting in front of the public. If a recess is called during a public meeting, no deliberation or discussion related to the cases being heard is allowed until the members reconvene.

Megan Fenner stated long term goals for the Local Board of Building Code Appeals were to have an approved set of by-laws and policy. These decisions can be informal meetings open to the public, and do not have to be advertised in the newspaper.

Megan Fenner touched on what will be included in the packet to the board: agenda, minutes, the building official's decision, the applicant's submitted materials and any supporting materials. The Local Board of Building Code Appeals decided that the burden of proof is on each party to supply the necessary materials for their stance. Megan Fenner advised again that the board is only voting to uphold, reverse or modify the building official's ruling.

The Local Board of Building Code Appeals adjourned at 10:13 am.

RICHARD SHIVELY
CHAIRMAN

MEGAN FENNER
CLERK

Broughton, John

From: Broughton, John
Sent: Friday, March 3, 2023 4:24 PM
To: Craig Caron
Cc: Stanley, Trevor
Subject: Gearheart/Bartholomew

Craig,

Based on several conversations with the Gearhearts at Compass Cove and Trevor having discussions with Ms. Bartholomew at Calypso Drive, both homeowners are experiencing issues with their newly built home. Both parties have stated that you have been non-engaging and will not return phone calls or emails pertaining to the complaints.

Trevor and I have visited the Gearheart property in the last month or so and verified that many issues are occurring that need your attention. The basement slab in the garage area has opened up considerably, one area of the foundation is leaking water, excessive truss bounce(Mfg will not discuss with them, they say you are the customer), exterior paint and siding have many issues. All of these complaints are growing and from the owners statement "Craig will not call or email us back after repeated attempts".

Ms. Bartholomew states that she has been having high level alarm issues with her septic system. Trevor had discussed with you about the 3' x 3' landing and the front tread depths and nothing has been corrected. This request by Trevor was from back late last year without any action of correction. Ms. Bartholomew stated that she had discovered no HVAC in finished areas of the basement including the gym, bonus/ storage room. She has many other complaints that need to be discussed and corrected.

Please, give me a call on Monday to discuss these issues or stop by the office in person in the afternoon.

Thanks,
John

JOHN W BROUGHTON, CBO
Franklin County Building Official
VBCOA/1st Vice-President



1255 Franklin St. Ste. 103
Rocky Mount, VA 24151
(540) 483-3047 Ext. 2248

John.Broughton@franklincountyva.gov



DEVELOPMENT SERVICES
DEPARTMENT OF BUILDING INSPECTIONS

March 23, 2023

To: Craig Caron- **dba/** Craig Caron Builders
PO BOX 759
Hardy, VA 24101

Re: Bob and Lisa Gearhart
197 Compass Cove
Moneta, VA 24121

Mr. Caron,

An email was sent to you on Friday, March 3, 2023 asking you to contact me or come by the office to discuss a multitude of complaints made and verified by the Gearhart's. Below, is an excerpt from the email sent on the 3rd.

"Trevor and I have visited the Gearhart property in the last month or so and verified that many issues are occurring that need your attention. The basement slab in the garage area has opened up considerably, one area of the foundation is leaking water, excessive truss bounce (Mfg will not discuss with them, they say you are the customer), exterior paint and siding have many issues. All of these complaints are growing and from the owner's statement "Craig will not call or email us back after repeated attempts"."

It has been **20 days** since the email was sent with no response from you or anyone in your company. This Certified Letter serves as the **2nd notice** of request for communication. If you fail to contact the Building Inspections Office within **10 business days** of receipt of this letter, then further action may be taken.

Respectfully,

JOHN W BROUGHTON, CBO
Franklin County Building Official
VBCOA/1st Vice-President



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Right to Appeal: VUSBC Section 119.5- Any person aggrieved by the Franklin County Building Department's application of the VUSBC or the refusal to grant a modification to the provisions of the VUSBC may appeal to the Local Board of Building Code Appeals. An applicant shall submit a written request for appeal to the LBBCA within 30 calendar days of the receipt of the decision being appealed. The application shall contain the name and address of the owner of the building structure and in addition, the name of and address of the person appealing, when the applicant is not the owner. Failure to submit the appeal of the building official's decision within the 30-day time limit shall constitute acceptance of the building official's decision.



DEVELOPMENT SERVICES DEPARTMENT OF BUILDING INSPECTIONS

OFFICIAL NOTICE OF VIOLATION

September 5, 2023

Responsible Party: Craig Caron- **dba/** Craig Caron Builders
PO BOX 759
Hardy, VA 24101

Property: 197 Compass Cove, Moneta, VA 24121

Mr. Caron,

County staff have contacted you numerous times regarding the following violations within the Virginia Uniform Statewide Building Code. The following describes the building code violations found at 197 Compass Cove, Moneta, VA 24121 for which you are the responsible party.

DESCRIPTION OF VIOLATIONS

Violation: Exterior Concrete Lap siding is not installed in accordance with manufacturer installation instructions. This installation voids the warranty and is likely to cause further issues.

Applicable Code Section: *2018 Virginia Residential Code-Section R703.10.2 Fiber Cement Lap Siding.* It requires that the siding be installed according to the approved manufacturer's installation instructions.

Corrective Action: Provide evaluation and repair design from manufacturer and repair in accordance with design. . All remedial work must be finished to consider the violation remedied.

CORRECTIVE ACTION REQUIRED

You were notified by e-mail of these violations on multiple occasions, including March 3 and on March 23, 2023. As of the date of this letter, these violations have not been corrected.

According to the Virginia Uniform Statewide Building Code, Section 36-106 of the Code of Virginia and Section 5-22 Franklin County Ordinance any violation shall be deemed a misdemeanor and any owner or any other person, firm or corporation convicted of such **a violation shall be punished by a fine of not more than \$2,500.**


The determination by the Building Official is that you are in violation of the Virginia Uniform Statewide Building Code. Failure to perform the corrective actions described above within 30 days of this notice may result in legal action being taken against you.

If you wish to contest this determination, you must file a written request for appeal to the Local Board of Building Appeals by submitting an application, the basis for your appeal, and a copy of this violation notice within thirty (30) days of the date on this notice to the Office of the Building Official. Failure to submit the written appeal within thirty (30) days shall

constitute acceptance of this decision and notice of violation.

If you have questions about the violation or the required corrective action, please contact our office at 540-483-3047 ext. 2248.

Thank you for your prompt attention to this matter.



JOHN W BROUGHTON, CBO
Franklin County Building Official
VBCOA/1st Vice-President



Franklin County
A historical setting for the future

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DESCRIPTION OF VIOLATION

Violation: Basement garage/workshop floor cracked, materially more significant than a natural hair-line crack. Slab is consistently less than the required 3-1/2" thickness

Applicable Code Section: *Section R506 Concrete Floors (On Ground)* of the 2018 Virginia Construction Code.

Corrective Action: Provide intended repair solutions for the correction of the concrete floor for approval or provide an engineered evaluation and corrective action. All remedial work must be finished to consider the violation remedied.

Violation: Floor Trusses are damaged and incorrectly installed per manufacturer installation requirements. This has been verified by manufacturer representative (David Jones).

CORRECTIVE ACTION REQUIRED

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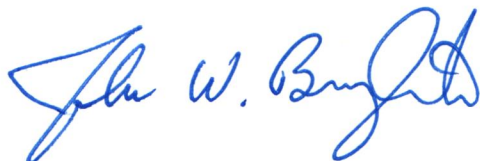
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by submitting an application, the basis for your appeal, and a copy of this violation notice within thirty (30) days of the date on this notice to the Office of the Building Official. Failure to submit the written appeal within thirty (30) days shall constitute acceptance of this decision and notice of violation.

If you have questions about the violation or the required corrective action, please contact our office at 540-483-3047 ext. 2248.

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DESCRIPTION OF VIOLATIONS

Violation: Floor Trusses are damaged and incorrectly installed per manufacturer installation requirements. This has been verified by manufacturer representative (David Jones).

Applicable Code Section: *Virginia Construction Code: VUSBC Section 112.* "Damage to regulated building components Caused by violations of this code or by the use of faulty materials or installations shall be subject to the applicable provisions of Section 115."

Corrective Action: Provide truss evaluation and repair design from manufacturer and repair in accordance with design. All remedial work must be finished to consider the violation remedied.

CORRECTIVE ACTION REQUIRED

You were notified by e-mail of these violations on multiple occasions, including March 3 and on March 23, 2023. As of the date of this letter, these violations have not been corrected.

According to the Virginia Uniform Statewide Building Code, Section 36-106 of the Code of Virginia and Section 5-22 Franklin County Ordinance any violation shall be deemed a misdemeanor and any owner or any other person, firm or corporation convicted of such **a violation shall be punished by a fine of not more than \$2,500.**

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Mr. Caron,

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DESCRIPTION OF VIOLATION

Violation: Foundation leaking in two locations.

Applicable Code Sections: *Section R406.1 Concrete and Masonry foundation damp proofing and Section R406.2 Concrete and masonry foundation Waterproofing* of the 2018 Virginia Construction Code.

Corrective Action: These two locations shall be made watertight. If the soil and/or water table are extreme, foundation water proofing is required.

CORRECTIVE ACTION REQUIRED

You were notified by e-mail of these violations on multiple occasions, including March 3 and on March 23, 2023. As of the date of this letter, these violations have not been corrected.

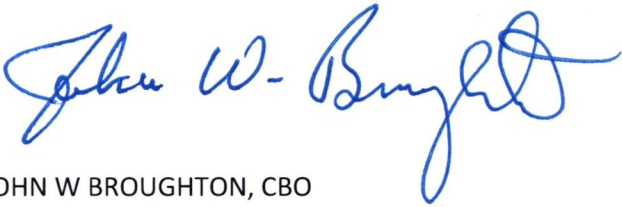
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R703.10.2 Lap siding.

Fiber-cement lap siding having a maximum width of 12 inches (305 mm) shall comply with the requirements of ASTM C1186, Type A, minimum Grade II or ISO 8336, Category A, minimum Class 2. Lap siding shall be

lapped a minimum of 11/4 inches (32 mm) and lap siding not having tongue-and-groove end joints shall have the ends protected with caulking, covered with an H-section joint cover, located over a strip of flashing, or shall be

designed to comply with Section R703.1. Lap siding courses shall be installed with the fastener heads exposed or concealed, in accordance with Table R703.3(1) or approved manufacturer's instructions.

R506.1 General.

Concrete slab-on-ground floors shall be designed and constructed in accordance with the provisions of this section or ACI 332. Floors shall be a minimum 3 1/2 inches (89 mm) thick (for expansive soils, see Section R403.1

The specified compressive strength of concrete shall be as set forth in Section R402.2.

Virginia Uniform Statewide Building Code: Section 112- Workmanship, Materials and Equipment

112.1 General. It shall be the duty of any person performing work covered by this code to comply with all applicable provisions of this code and to perform and complete such work so as to secure the results intended by the USBC. Damage to regulated building components caused by violations of this code or by the use of faulty materials or installations shall be considered as separate violations of this code and shall be subject to the applicable provisions of **Section 115-Violations.**

R406.1 Concrete and masonry foundation dampproofing.

Except where required by Section R406.2 to be waterproofed, foundation walls that retain earth and enclose interior spaces and floors below grade shall be dampproofed from the higher of (a) the top of the footing or (b) 6

inches (152 mm) below the top of the basement floor, to the finished grade. Masonry walls shall have not less than 3/8 inch (9.5 mm) portland cement parging applied to the exterior of the wall. The parging shall be dampproofed

in accordance with one of the following:

1. Bituminous coating.
2. Three pounds per square yard (1.63 kg/m²) of acrylic modified cement.
3. One-eighth-inch (3.2 mm) coat of surface-bonding cement complying with ASTM C887.
4. Any material permitted for waterproofing in Section R406.2.
5. Other approved methods or materials.

Exception: Parging of unit masonry walls is not required where a material is approved for direct application to the masonry.

Concrete walls shall be dampproofed by applying any one of the listed dampproofing materials or any one of the waterproofing materials listed in Section R406.2 to the exterior of the wall.

R406.2 Concrete and masonry foundation waterproofing.

In areas where a high water table or other severe soil-water conditions are known to exist, exterior foundation walls that retain earth and enclose interior spaces and floors below grade shall be waterproofed from the higher of

(a) the top of the footing or (b) 6 inches (152 mm) below the top of the basement floor, to the finished grade. Walls shall be waterproofed in accordance with one of the following:

1. Two-ply hot-mopped felts.
2. Fifty-five-pound (25 kg) roll roofing.
3. Six-mil (0.15 mm) polyvinyl chloride.
4. Six-mil (0.15 mm) polyethylene.
5. Forty-mil (1 mm) polymer-modified asphalt.
6. Sixty-mil (1.5 mm) flexible polymer cement.
7. One-eighth-inch (3 mm) cement-based, fiber-reinforced, waterproof coating.
8. Sixty-mil (1.5 mm) solvent-free liquid-applied synthetic rubber.

Exception: Organic-solvent-based products such as hydrocarbons, chlorinated hydrocarbons, ketones and esters shall not be used for ICF walls with expanded polystyrene form material. Use of plastic roofing cements,

acrylic coatings, latex coatings, mortars and pargings to seal ICF walls is permitted. Cold-setting asphalt or hot asphalt shall conform to Type C of ASTM D449. Hot asphalt shall be applied at a temperature of less than 200°F

(93C)

All joints in membrane waterproofing shall be lapped and sealed with an adhesive compatible with the membrane.

What gives the Building Official the authority to engage code deficiencies after the final inspection and/or the Certificate of Occupancy has been issued?

Code of Virginia: 19.2-8

Prosecution of Building Code violations under § 36-106 shall commence within one year of discovery of the offense by the building official, provided that such discovery occurs within two years of the date of initial occupancy or use after construction of the building or structure, or the issuance of a certificate of use and occupancy for the building or structure, whichever is later. However, prosecutions under § 36-106 relating to the maintenance of existing buildings or structures as contained in the Uniform Statewide Building Code shall commence within one year of the issuance of a notice of violation for the offense by the building official.

The contract price is \$555,000.00 for the work listed above. Draws will be paid according to this contract payment schedule. Any bank charges for draw inspections are the responsibility of the owner. The work is estimated to begin in May 2021. The construction duration will take approximately twelve (12) months from the time it is started and could lengthen due to unforeseen circumstances such as materials availability. Contractors payment schedule: 5% due at contract signing or before commencement of construction, and draws due according to attached builder approved bank draw schedule. If a bank loan is to be applied for, any construction progress payments to be made during the course of construction are to be made per the builder's approved progress inspection sheet. The above work is to be completed in a workmanlike manner in accordance with the drawings and specifications as well as local building codes.

Conditions of the Contract:

1. Changes: No changes in the above work will be made without written authorization from the owner. Any alteration or deviation from the above work description involving extra cost or labor will be undertaken only after the written order is signed by the contractor and the owner.
2. Hidden Conditions: The contractor is not responsible for extra work resulting from hidden conditions that may be discovered during work. Any hidden conditions constituting a change in design or cost must be communicated to the owner immediately. For changes refer to paragraph 1 in Conditions of the Contract.
3. Schedule delays: Project start and end dates are approximate, and may be affected by unavoidable conditions such as weather, material, and equipment delays, and changes to work. The schedule will be adjusted accordingly.
4. Non-payment: Following bank inspection approval, if the scheduled payment is (10) days past due, the contractor reserves the right to stop work on the project with written notice. The owner is responsible for any and all expenses related to non-payment.
5. Site Safety: The contractor will make every effort to keep the site safe. Contractor also agrees to provide evidence of current business liability and workers compensation insurance.





April 5, 2022

Robert & Lisa Gearhart
1228 Peters Pike Road
Wirtz, VA 24184

RE: 8.25 Cedarmill HZ10 HardiePlank® Primed Siding installed at Lot 37 Compass Cove Circle,
Moneta, VA 24121

Dear Hardie Customer;

By way of this letter, James Hardie Building Products will warrant the HZ10 Hardie Products installed at the above referenced address (Warranties Enclosed). As stated in the enclosed "Warranty" James Hardie Building Products warrants that the "product" will be free from manufacturing defects. This warranty does not cover damage or defects that may arise from or in any way correlated to installation.

This Limited Warranty extends only to the first retail purchaser of the Product, the first owner of the structure to which the Product is applied and the first transferee where the Product is installed in a commercial or multi-family dwelling.

Should you experience any problems related to the manufacture of your Hardie products, James Hardie Building Products, Inc. will remedy those problems under the normal warranty terms and conditions.

If you have any questions that are warranty related, please feel free to contact us directly at 866-375-8603.

Sincerely,

Nancy Phan
Claims & Warranty Department
James Hardie Building Products

Enclosure: HardiePlank Warranty

James Hardie Building Products, Inc.
Claims & Warranty Department
10901 Elm Avenue, Fontana, CA 92337



Lisa Gearhart <lkgearhart@gmail.com>

James Hardie Offer--Product Voucher

Nancy Phan <Nancy.Phan@jameshardie.com>
To: Lisa Gearhart <lkgearhart@gmail.com>

Thu, Jan 19, 2023 at 12:22 PM

Hello Lisa,

Thank you for speaking with me today. As stated in our call the product voucher offer is for the pieces that have lumps/bumps and the 1 cracked piece. Your other concerns are not manufactured related. We suggest that you obtain a certified and bonded residential home inspector through the International Association of Certified Home Inspectors (InterNACHI-www.nachi.org) or the American Society of Home Inspectors (ASHI - www.homeinspector.org) to conduct a thorough inspection and provide you with a detailed report on any installation deviations. Please find attached copy of our warranty and install instructions.

If you have additional information that will lead us to believe that this claim is covered under the Warranty please feel free to provide that at any time and we will re-visit your claim.

Kind regards,

Nancy Phan (Avila)

Claims Coordinator III



James Hardie Building Products, Inc.

Claims & Warranty

M: (866) 375-8603 T: (949) 348-4432 F: (909) 356-7442
10901 Elm Avenue
Fontana, CA, 92337

www.jameshardie.com

Please consider the environment before printing this email

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From: Lisa Gearhart <lkgearhart@gmail.com>
Sent: Thursday, January 19, 2023 6:12 AM
To: Nancy Phan <Nancy.Phan@Jameshardie.com>; Claims Administration (US) <Claims.Administration@Jameshardie.com>
Subject: Re: James Hardie Offer--Product Voucher

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi,

I am just checking if you received my last email and you have any updates for us?

Thank you.

Lisa Gearhart

540-354-5774

On Mon, Jan 16, 2023 at 12:25 PM Lisa Gearhart <lkgearhart@gmail.com> wrote:

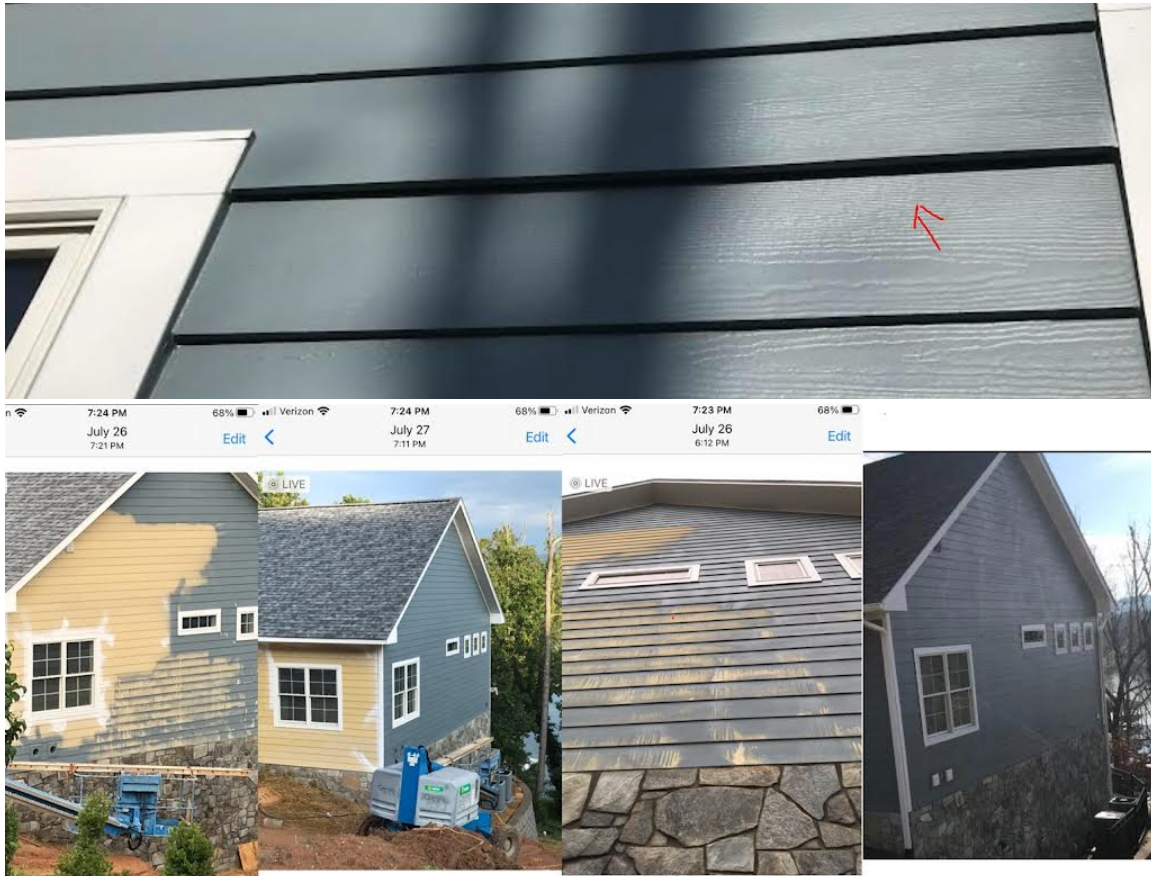
Hi Nancy,

Thank you for your response however I'm not certain you have considered the following issues / images when making your determination.

The blotchy rough texture (like sandpaper), warping at multiple locations including joints does not seem to correspond with James Hardie written warranty "to be free from defects in material and workmanship".

We are glad to meet at the home with a James Hardie representative to further review so you can better understand the issues.







Thank you.

Lisa Gearhart

540-354-5774

[Quoted text hidden]

3 attachments



Technical Bulletin 17.pdf
796K



2020 July HZ10 HardiePlank_HardiePanel_HardieShingle_HardieSoffit.pdf
261K



2019 Dec HZ10 HardiePlank.pdf
15979K



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P. O. Box 2022
Salem, VA 24153

540-874-5493

sfeaster70@gmail.com

February 6, 2023

Name: Bob & Lisa Gearhart

Address: Lot 37, Compass Cove Subdivision, Moneta, VA 24121

Subject: Floor Truss Inspection

At your request, the floor trusses were inspected at the above property on February 6, 2023. The following were found to be non-compliant with the 2015 Virginia Residential Code and/or the manufacturers installation guidelines:

- There is a significant bounce present in the living room floor trusses. The dynamic impact appears to be due to a combination of the use of less stringent design deflection criteria and the lack of properly installed 2x6 strongbacks. Industry standards set deflection limits of $L(\text{length})/360$ for live loads and $L/240$ for total loads with absolute maximums of 1.0 inches and 1.5 inches respectively. These criteria are acceptable for shorter spans but for longer spans the magnitude of the deflections become apparent both visibly and in an individual's senses. Many designers will limit the deflection for live loads to $L/480$ and for total loads to $L/360$ for longer spans with absolute maximums of 0.5 inches and 0.75 inches respectively. The existing floor trusses were designed utilizing the less stringent deflection criteria despite the span lengths. Strongbacks are continuous horizontal members that attach perpendicularly to vertical web members of trusses within the floor cavity. They are 2X lumber and their size varies depending on the depth of the trusses. Their purpose is to reduce vibration and increase floor comfort and performance by limiting differential deflection under dynamic concentrated loading. The manufacturer requires 2x6 minimum strongbacks connected to vertical web members with a minimum of (3) 16d nails. Spans less 20 feet should have one row at the center span of the trusses. Spans between 20 and 30 feet should have two rows equally spaced. Strongbacks should be at least 14 feet in length and be lapped a minimum of 2 feet at each end over two adjacent trusses. Locations are present (living room and others) where strongbacks are not present and where present they are not installed in accordance with the manufacturer's requirements.

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- Bottom chord bracing is not present on any of the floor trusses. Manufacturers require rigid ceiling directly applied to the bottom chords or a minimum of 2x4 members laid flat and secured to the bottom chords of each truss with a minimum of (2)16 nails. If a rigid ceiling is not present then braces are recommended at a maximum of 10 foot spacing or a lesser spacing specified by the manufacturer. Bottom chord bracing is utilized to control the slenderness ratio of the tension member as required by the American Institute of Steel Construction (AISC) and the Steel Joist Institute (SJI) and to provide bracing to stabilize the compression diagonals on the verticals in a truss system.
- Unlike conventional construction, lightweight wood truss construction does not obtain its strength from the size of the materials used but rather from compression and tension of the materials used in its construction. Trusses use a series of triangles that are connected and are designed to transfer the load that they carry to load-bearing walls or beams in the structure. The wood members of the truss are connected together with a fastener made of stamped sheet metal containing spikes called gusset plates. The integrity of the wood framing members (chords and webs) and the gusset plates are essential for trusses to support and properly transfer the imposed loads to support walls and beams. Industry standards do not permit any cutting, drilling or modifications to trusses. The integrity of the wood framing members (chords and webs) are essential for trusses to support and properly transfer the imposed loads to support walls. Multiple holes in close proximity to each other were drilled in two locations of two trusses in the bottom chords on either side of the basement HVAC cold air return. Multiple locations are present at web joints where the gusset plates have been bent upwards reducing the plate size from 4"x6" to 4"x4.5". Gusset plates at this location are designed for a combination of forces and are sized specifically for each joint. Recommend evaluation of the issues noted above by the truss manufacturer to determine if any repairs are warranted.

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The issues noted above have a direct impact on the long term performance of the trusses and should be addressed prior to any ceiling finish application.

Thank you for asking us to perform this important inspection for you. If you have any questions after reviewing this letter, please contact our office.

Sincerely,
HBS CONSULTING, LLC



Scott F. Easter, PE
Structural Engineer

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February 7, 2022

Name: Bob & Lisa Gearhart

Address: Lot 37, Compass Cove Subdivision, Moneta, VA 24121

Subject: Wall Covering Inspection

At your request, the wall covering was inspected at the above property on February 7, 2022. The following were found to be non-compliant with the 2015 Virginia Residential Code and/or the manufacturers installation guidelines:

- The water resistive barrier material manufacturer is DRYline Building. In accordance with the manufacturer's installation guidelines, the barrier should be extended a minimum of 2 to 4 inches over the sill plates. The barrier is not installed in accordance with this requirement. The manufacturer requires that all joints in the barrier be sealed with DRYline Sheathing tape. The exposed sections of barrier that were visible did not have any taped joints. Sections of wood framed walls intended to receive stone veneer as cladding should have two layers of the water resistive barrier installed over the wall sheathing.
- The wall cladding was incomplete at the time of the inspection. The installed siding is a combination of HZ5 and HZ10 HardiePlank Cedarmill Fiber Cement Lap Siding by James Hardie Building Products. These two siding materials are intended to be installed in different regions of the country and the HZ5 product is intended to be installed at the project location. The manufacturer will not warranty the HZ10 material at this location. The manufacturer provides a 30 year warranty for the HZ5 material at the properly location. In addition, the two materials have different edge profiles. The HZ10 material has a square edge and the HZ5 material has a bull nosed drip edge. The difference in edge profiles is noticeable and will be an aesthetic detriment.
- The siding manufacture has specific installation guidelines that must be adhered to for their warranty to be honored. Below are installation issues that do not comply with those guidelines:

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- Locations are present where the HZ5 siding is installed upside down with nail line exposed on the bottom and the drip edge on the top.
- The bottom rows of siding are installed with less than the required ¼ inch gap between the bottom edge of the siding and the metal flashing.
- Locations present where the bottom edge of the siding is installed with less than the required ¼ inch gap from the head flashing over windows.
- Locations present where the butt joints between the siding panels and between the siding panels and trim materials exceed the required maximum 1/8 inch.
- The bottom of the trim directly over the roof covering does not have the required 2 inch clearance.
- Locations noted where fasteners are installed closer than the required ¾ inch minimum from the top edge of the siding.
- Locations noted where the ends of siding panels do not appear to be over framing studs.
- The cut edges of siding panels over doors and windows are not sealed. Caulk is not permitted in this joint as a sealant.
- The R10 slab on grade rigid insulation is installed on the exterior of the foundation in the rear of the dwelling. No wall section at this location was viewed. The owner indicated that the cladding is planned to be stone at this area. It is unclear how the stone is to be installed, however, the head flashing is not adequate as it does not extend beyond the outer edge of the insulation much less the additional stone cladding.

II. Existing Condition Photo's

Photo's documenting the existing conditions are included below.

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Photo #1

Subject: Photo of the subject dwelling. Note the two different types of siding.



Photo #2

Subject: Photo of base flashing over rigid insulation. Note flashing does not lap the outer edge of the insulation nor will it lap the top of the planned stone cladding.

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Photo #3

Subject: Photo of thin strips of siding below deck which are not secured or secured with fasteners closer than $\frac{3}{4}$ inch from edges.



Photo #4

Subject: Representative photo of lack of $\frac{1}{4}$ inch gap between the bottom of the siding and the flashing.

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Photo #5

Subject:

Representative photo of lack of taped joints in water resistive barrier.



Photo #6

Subject:

Representative photo of water resistive barrier not being lapped over the sill plate by the minimum 2 inch required.

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Photo #7

Subject:

Representative photo of HZ5 siding installed upside down.



Photo #8

Subject:

Representative photo of butt joint exceeding maximum 1/8 inch required.

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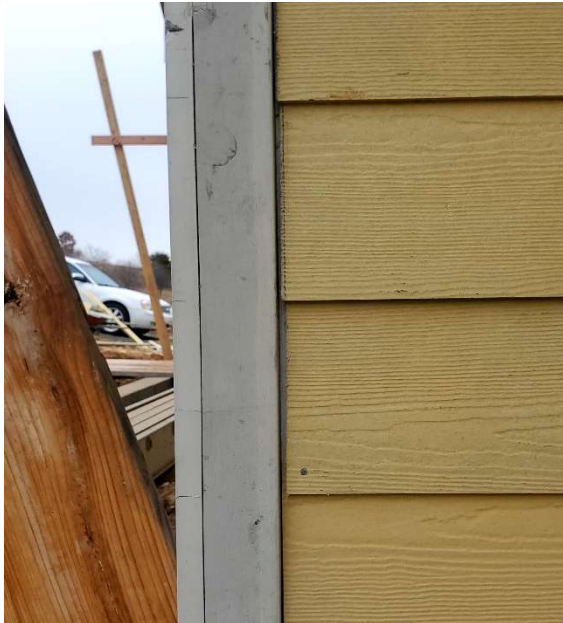


Photo #9

Subject:

Representative photo of joint between siding panels and trim exceeding maximum 1/8 inch required.



Photo #10

Subject:

Representative photo of fasteners installed closer than the minimum required 3/4" inches.

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Photo #11

Subject:

Representative photo of lack of minimum ¼ inch gap between siding and head flashing above windows and unsealed cut edges of siding.



Photo #12

Subject:

Representative photo of lack of minimum 2 inch clearance between bottom of trim and roof covering.

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Photo #13

Subject:

Representative photo of location where end of siding panel does not appear to be located over a wall stud.

The issues noted above have a direct impact on the long term performance of the materials. Deficiencies noted have the potential to allow for moisture intrusion, material damage from moisture, and the siding panels becoming loose or dislocated completely.

Due to the overwhelming number of visual issues noted in the wall covering inspection and the high likelihood that these issues are consistent in non visible areas, it is my recommendation that the fiber cement siding be removed in its entirety and new HZ5 siding be installed in strict conformance with the manufacturer's installation requirements. Prior to installation of the new siding, I recommend that the water resistive barrier defects be addressed and that all joints and nail hole penetrations through the barrier be sealed with DRYline Sheathing tape.

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Salem, VA 24153

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sfeaster70@gmail.com

Thank you for asking us to perform this important inspection for you. If you have any questions after reviewing this letter, please contact our office.

Sincerely,
HBS CONSULTING, LLC



Scott F. Easter, PE
Structural Engineer

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HBS Consulting, LLC

P. O. Box 2022
Salem, VA 24153

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October 16, 2023

Name: Bob & Lisa Gearhart

Address: 197 Compass Cove Circle, Moneta, VA 24121

Subject: Wall Covering Inspection

At your request, the wall covering was inspected at the above property on October 16, 2023. The installed siding is yellow primed HZ10 Cedarmill HardiePlank Fiber Cement Lap Siding 8.25" by James Hardie Building Products. The following were found to be non-compliant with the 2015 Virginia Residential Code (VRC):

1. Section R703.1.2 Wind Resistance. Section requires wall coverings, backing materials and their attachments be capable of resisting wind loads in accordance with Tables R301.2(2) and R301.2(3). Wind-pressure resistance of the siding and backing materials shall be determined by ASTM E330 or other applicable standard test methods. James Hardie Building Products have been tested and approved to meet this requirement; however, the approval is contingent on the siding being installed in accordance with published installation requirements. The failure to adhere to the manufacturer's installation requirements noted herein negates the ASTM E330 approval and creates a condition whereby the product as installed may not be capable of withstanding design wind loads.
2. Section R703.10.2 Lap siding. Section requires lap siding be lapped a minimum of 1¹/₄ inches. Locations are present where the siding does not adhere to this minimum lap requirement.

The siding manufacture has specific installation guidelines that must be adhered to for their warranty to be honored. The following, including the VRC issues noted above, were found to be non-compliant with the manufacturers installation guidelines:

1. The bottom rows of siding are installed with less than the required ¼ inch gap between the bottom edge of the siding and the metal flashing.
2. Locations present where the butt joints between the siding and between the siding and trim materials exceed the required maximum 1/8 inch.

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3. The bottom of the trim directly over the roof covering does not have the required 2-inch clearance.
4. Locations noted where the siding is easily raised from the bottom and where horizontal gaps are present between the lap siding due to warping. Condition is typical of high nailing where the fasteners are installed closer to the top edge of the lap siding than the manufactures minimum $\frac{3}{4}$ inch. Locations noted where fasteners are installed closer than the required $\frac{3}{4}$ inch minimum from the top edge of the siding.
5. Locations are present where the butt ends of the siding are not located over framing members as viewed from within by removal of the insulation. Joint staggering does not adhere to conventional 16-inch increments which would result in siding ends being located over studs.
6. The cut edges of lap siding over doors and windows are not sealed in accordance with the manufacturer's recommendations.
7. The head flashing at the interface of the stone veneer and bottom row of siding is not Z type flashing as required by the manufacturer.
8. No flashing is present at the base of the bottom row of siding and the concrete slab at the front porch.
9. The splices in the vertical corner trim members are cut flat. The manufacturer requires a tapered 22.5° - 45° weather cut.
10. No kickout flashing where the roof begins at its lowest point to deflect water away from the siding. Kickout flashing should be minimum 4 in x 4 in with a 100° - 110 bend/ kickout to divert water away from the wall.
11. The manufacturer requires the siding to be painted within 180 days of installation. Based on documentation from the owners the siding was not painted within 180 days of installation. The manufacturer requires that the siding not be painted when wet and that two high-quality exterior grade acrylic topcoats should be applied. Back-rolling is recommended if the siding is sprayed. Areas of the paint on the siding are very blotchy and uneven. Condition appears to be due to one or more of these issues.

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II. Existing Condition Photo's

Photo's documenting the existing conditions are included below.



Photo #1

Subject: Photo of head flashing at interface of siding and stone veneer. Note flashing is not Z type flashing. Note gap between siding and flashing is less than required $\frac{1}{4}$ inch.

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Photo #2

Subject:

Representative photo of warped siding indicative of high nailing.



Photo #3

Subject: Photo nails at ends of siding not located over framing members.

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Photo #4

Subject:

Representative photo of joint between butt ends of siding exceeding the required maximum 1/8 inch.



Photo #5

Subject:

Representative photo of joint between ends of siding and trim exceeding the required maximum 1/8 inch.

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Photo #6

Subject:

Representative photo of siding with less than 1.25 inch lap.



Photo #7

Subject: Photo of front porch without base flashing below bottom row of siding.

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Photo #8

Subject:

Representative photo of blotchy paint covering.



Photo #9

Subject:

Representative photo of unsealed cut surface of siding above window.

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Photo #10

Subject:

Representative photo of trim material above roof with less than required 2 inch clearance.



Photo #11

Subject: Photo of roof to wall interface without kickout flashing.

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The issues noted above have a direct impact on the long-term performance of the materials. Deficiencies noted have the potential to allow for moisture intrusion, material damage from moisture, rattling and the lap siding becoming loose or dislocated completely.

Due to the overwhelming number of visual issues noted in the wall covering inspection and the high likelihood that these issues are consistent in non-visible areas, it is my recommendation that the fiber cement siding be removed in its entirety and new HZ5 Cedarmill HardiePlank Fiber Cement Lap Siding siding be installed in strict conformance with the manufacturer's installation requirements. Prior to installation of the new siding, I recommend that new water resistive barrier be installed over the original due to the number of penetrations.

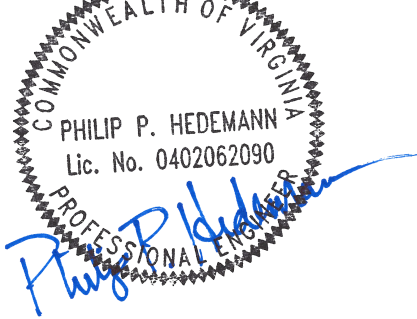
Thank you for asking us to perform this important inspection for you. If you have any questions after reviewing this letter, please contact our office.

Sincerely,
HBS CONSULTING, LLC



Scott F. Easter, PE
Structural Engineer

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Alpine, an ITW company
155 Harlem Ave.
North Building, 4th Floor
Glenview, IL 60025
Phone: (800)326-4102 (314)344-9121
alpineitw.com

This document has been electronically signed and sealed by Philip P. Hedemann, PE, on the date adjacent to the seal using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

Site Information:	Page 1:
Customer: Jones Building Systems	Job Number: CCAR318962
Job Description:	
Address:	

Job Engineering Criteria:	
Design Code: IRC 2015	IntelliVIEW Version: 22.02.00 JRef #: 1XOC2000003
Wind Standard: ASCE 7-10 Wind Speed (mph): 120	Design Loading (psf): 55.00
Building Type: Closed	

This package contains general notes pages, 6 truss drawing(s) and 2 detail(s).

Item	Drawing Number	Truss
1	086.23.1041.53727	A10
3	086.23.1026.41483	A3
5	086.23.1335.55497	A3
7	STRBRIBR1014	

Item	Drawing Number	Truss
2	086.23.1026.40310	A10
4	086.23.1332.21630	A3
6	086.23.1042.11547	A3
8	DEFLCAMB1014	

General Notes

Truss Design Engineer Scope of Work, Design Assumptions and Design Responsibilities:

The design responsibilities assumed in the preparation of these design drawings are those specified in ANSI/TPI 1, Chapter 2; and the National Design Standard for Metal Plate Connected Wood Truss Construction, by the Truss Plate Institute. The truss component designs conform to the applicable provisions of ANSI/TPI 1 and NDS, the National Design Specification for Wood Construction by AWC. The truss component designs are based on the specified loading and dimension information furnished by others to the Truss Design Engineer. The Truss Design Engineer has no duty to independently verify the accuracy or completeness of the information provided by others and may rely on that information without liability. The responsibility for verification of that information remains with others neither employed nor controlled by the Truss Design Engineer. The Truss Design Engineer's seal and signature on the attached drawings, or cover page listing these drawings, indicates acceptance of professional engineering responsibility solely for the truss component designs and not for the technical information furnished by others which technical information and consequences thereof remain their sole responsibility.

The suitability and use of these drawings for any particular structure is the responsibility of the Building Designer in accordance with ANSI/TPI 1 Chapter 2. The Building Designer is responsible for determining that the dimensions and loads for each truss component match those required by the plans and by the actual use of the individual component, and for ascertaining that the loads shown on the drawings meet or exceed applicable building code requirements and any additional factors required in the particular application. Truss components using metal connector plates with integral teeth shall not be placed in environments that will cause the moisture content of the wood in which plates are embedded to exceed 19% and/or cause corrosion of connector plates and other metal fasteners.

The Truss Design Engineer shall not be responsible for items beyond the specific scope of the agreed contracted work set forth herein, including but not limited to: verifying the dimensions of the truss component, calculation of any of the truss component design loads, inspection of the truss components before or after installation, the design of temporary or permanent bracing and their attachment required in the roof and/or floor systems, the design of diaphragms or shear walls, the design of load transfer connections to and from diaphragms and shear walls, the design of load transfer to the foundation, the design of connections for truss components to their bearing supports, the design of the bearing supports, installation of the truss components, observation of the truss component installation process, review of truss assembly procedures, sequencing of the truss component installation, construction means and methods, site and/or worker safety in the installation of the truss components and/or its connections.

This document may be a high quality facsimile of the original engineering document which is a digitally signed electronic file with third party authentication. A wet or embossed seal copy of this engineering document is available upon request.

Temporary Lateral Restraint and Bracing:

Temporary lateral restraint and diagonal bracing shall be installed according to the provisions of BCSI chapters B1, B2, B7 and/or B10 (Building Component Safety Information, by TPI and SBCA), or as specified by the Building Designer or other Registered Design Professional. The required locations for lateral restraint and/or bracing depicted on these drawings are only for the permanent lateral support of the truss members to reduce buckling lengths, and do not apply to and may not be relied upon for the temporary stability of the truss components during their installation.

Permanent Lateral Restraint and Bracing:

The required locations for lateral restraint or bracing depicted on these drawings are for the permanent lateral support of the truss members to reduce buckling lengths. Permanent lateral support shall be installed according to the provisions of BCSI chapters B3, B7 and/or B10, or as specified by the Building Designer or other Registered Design Professional. These drawings do not depict or specify installation/erection bracing, wind bracing, portal bracing or similar building stability bracing which are parts of the overall building design to be specified, designed and detailed by the Building Designer.

Connector Plate Information:

Alpine connector plates are made of ASTM A653 or ASTM A1063 galvanized steel with the following designations, gauges and grades: W=Wave, 20ga, grade 40; H=High Strength, 20ga, grade 60; S=Super Strength, 18ga, grade 60. Information on model code compliance is contained in the ICC Evaluation Service report ESR-1118, available on-line at www.icc-es.org.

Fire Retardant Treated Lumber:

Fire retardant treated lumber must be properly re-dried and maintained below 19% or less moisture level through all stages of construction and usage. Fire retardant treated lumber may be more brittle than untreated lumber. Special handling care must be taken to prevent breakage during all handling activities.

General Notes (continued)

Key to Terms:

Information provided on drawings reflects a summary of the pertinent information required for the truss design. Detailed information on load cases, reactions, member lengths, forces and members requiring permanent lateral support may be found in calculation sheets available upon written request.

BCDL = Bottom Chord standard design Dead Load in pounds per square foot.

BCLL = Bottom Chord standard design Live Load in pounds per square foot.

CL = Certified lumber.

Des Ld = total of TCLL, TCDL, BCLL and BCDL Design Load in pounds per square foot.

FRT = Fire Retardant Treated lumber.

FRT-DB = D-Blaze Fire Retardant Treated lumber.

FRT-DC = Dricon Fire Retardant Treated lumber.

FRT-FP = FirePRO Fire Retardant Treated lumber.

FRT-FL = FlamePRO Fire Retardant Treated lumber.

FRT-FT = FlameTech Fire Retardant Treated lumber.

FRT-PG = PYRO-GUARD Fire Retardant Treated lumber.

g = green lumber.

HORZ(LL) = maximum Horizontal panel point deflection due to Live Load, in inches.

HORZ(TL) = maximum Horizontal panel point long term deflection in inches, due to Total Load, including creep adjustment.

HPL = additional Horizontal Load added to a truss Piece in pounds per linear foot or pounds.

Ic = Incised lumber.

FJ = Finger Jointed lumber.

L/# = user specified divisor for limiting span/deflection ratio for evaluation of actual L/defl value.

L/defl = ratio of Length between bearings, in inches, divided by the vertical Deflection due to creep, in inches, at the referenced panel point. Reported as 999 if greater than or equal to 999.

Loc = Location, starting location of left end of bearing or panel point (joint) location of deflection.

Max BC CSI = Maximum bending and axial Combined Stress Index for Bottom Chords for of all load cases.

Max TC CSI = Maximum bending and axial Combined Stress Index for Top Chords for of all load cases.

Max Web CSI = Maximum bending and axial Combined Stress Index for Webs for of all load cases.

NCBCLL = Non-Concurrent Bottom Chord design Live Load in pounds per square foot.

PL = additional Load applied at a user specified angle on a truss Piece in pounds per linear foot or pounds.

PLB = additional vertical load added to a Bottom chord Piece of a truss in pounds per linear foot or pounds

PLT = additional vertical load added to a Top chord Piece of a truss in pounds per linear foot or pounds.

PP = Panel Point.

R = maximum downward design Reaction, in pounds, from all specified gravity load cases, at the indicated location (Loc).

-R = maximum upward design Reaction, in pounds, from all specified gravity load cases, at the identified location (Loc).

Rh = maximum horizontal design Reaction in either direction, in pounds, from all specified gravity load cases, at the indicated location (Loc).

RL = maximum horizontal design Reaction in either direction, in pounds, from all specified non-gravity (wind or seismic) load cases, at the indicated location (Loc).

Rw = maximum downward design Reaction, in pounds, from all specified non-gravity (wind or seismic) load cases, at the identified location (Loc).

TCDL = Top Chord standard design Dead Load in pounds per square foot.

TCLL = Top Chord standard design Live Load in pounds per square foot.

U = maximum Upward design reaction, in pounds, from all specified non-gravity (wind or seismic) load cases, at the indicated location (Loc).

VERT(CL) = maximum Vertical panel point deflection in inches due to Live Load and Creep Component of Dead Load in inches.

VERT(CTL) = maximum Vertical panel point deflection ratios due to Live Load and Creep Component of Dead Load, and maximum long term Vertical panel point deflection in inches due to Total load, including creep adjustment.

VERT(LL) = maximum Vertical panel point deflection in inches due to Live Load.

VERT(TL) = maximum Vertical panel point long term deflection in inches due to Total load, including creep adjustment.

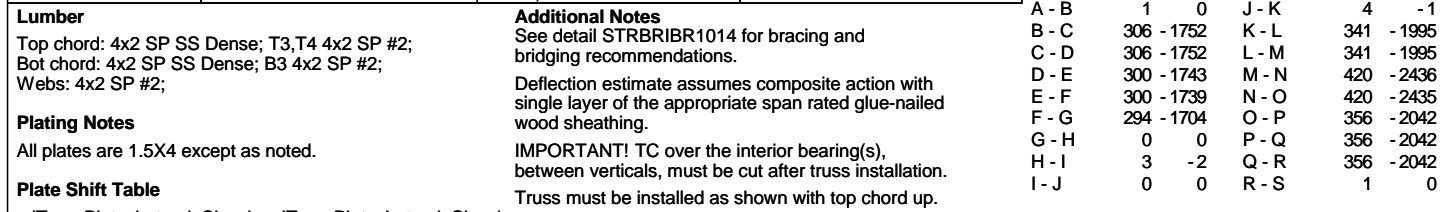
W = Width of non-hanger bearing, in inches.

Refer to ASCE-7 for Wind and Seismic abbreviations.

Uppercase Acronyms not explained above are as defined in TPI 1.

References:

1. AWC: American Wood Council; 222 Catoctin Circle SE, Suite 201; Leesburg, VA 20175; www.awc.org.
2. ICC: International Code Council; www.iccsafe.org.
3. Alpine, a division of ITW Building Components Group Inc.: 155 Harlem Ave, North Building, 4th Floor, Glenview, IL 60025; www.alpineitw.com.
4. TPI: Truss Plate Institute, 2670 Crain Highway, Suite 203, Waldorf, MD 20601; www.tpinst.org.
5. SBCA: Wood Truss Council of America, 6300 Enterprise Lane, Madison, WI 53719; www.sbcacomponents.com.



Additional Notes
See detail STRBRIBR1014 for bracing and bridging recommendations.
Deflection estimate assumes composite action with single layer of the appropriate span rated glue-nailed wood sheathing.
IMPORTANT! TC over the interior bearing(s), between verticals, must be cut after truss installation.
Truss must be installed as shown with top chord up.

[illegible]

Word	Percent Comp.	Word	Percent Comp.
AH-AG	22 - 96	K - Z	922 - 154
A -AH	20 - 79	L - Z	37 - 227
AG-B	232 - 1241	Z - M	90 - 655
B -AF	759 - 122	M - X	100 - 43
C -AF	35 - 164	N - W	182 - 324
AF- D	50 - 271	W - O	414 - 256
D -AD	86 - 352	O - V	76 - 486
AD- E	87 - 38	Q - V	38 - 198
F -AC	131 - 800	V - R	933 - 151
AC- G	1124 - 179	R - U	259 - 1398
G -AB	227 - 1310	S - T	20 - 81

****WARNING**** READ AND FOLLOW ALL NOTES ON THIS DRAWING!
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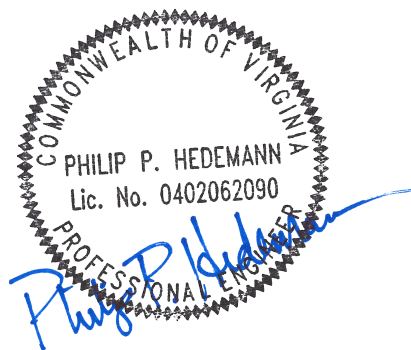
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For more information see these web sites: Alpine: alpineitw.com; TPI: tpiinst.org; SBICA: sbicacomponents.com; ICC: iccsafe.org; AWC: awc.org

SEQN: 91543	SY42	Ply: 1	Job Number: CCAR318962	Cust: R 200 JRef: 1XOC2000003 T10
FROM:		Qty: 12	.	DrwNo: 086.23.1041.53727
Page 2 of 2			Truss Label: A10	KMS / PPH 02/24/2023

I - AB	19	- 104	U - T	0	- 9
J - AA	17	- 91	T - U	22	- 88
AA - K	238	- 1367			



03/27/2023

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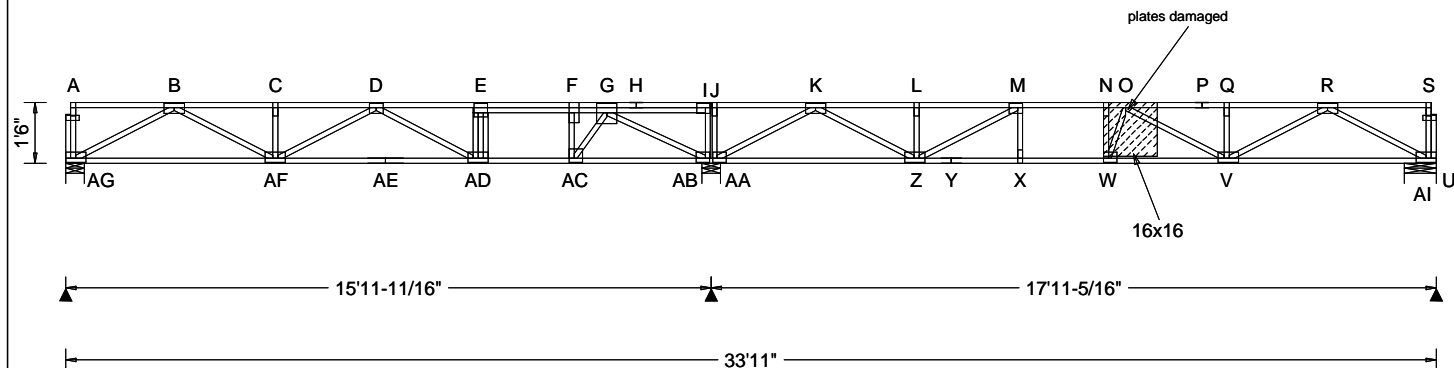
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155 Harlem Ave
North Building, 4th Floor
Glenview, IL 60025

SEQN: 91543 FROM:	SY42 Qty: 12	Ply: 1	Job Number: CCAR318962 Truss Label: A10	Cust: R 200 JRef: 1XOC2000003 T5 DrwNo: 086.23.1026.40310 KMS / PPH 02/24/2023
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Loading Criteria (psf)	Wind Criteria	Snow Criteria (Pg,Pf in PSF)	Defl/CSI Criteria	▲ Maximum Reactions (lbs)
TCLL: 40.00 TCDL: 10.00 BCLL: 0.00 BCDL: 5.00 Des Ld: 55.00 NCBCLL: 10.00 Soffit: 2.00 Load Duration: 1.00 Spacing: 19.2 "	Wind Std: ASCE 7-10 Speed: 120 mph Enclosure: Closed Risk Category: II EXP: C Kzt: NA Mean Height: 15.00 ft TCDL: 5.0 psf BCDL: 3.0 psf MWFRS Parallel Dist: h/2 to h C&C Dist a: 3.39 ft Loc. from endwall: not in 5.30 ft GCp: 0.18 Wind Duration: 1.60	Pg: NA Ct: NA CAT: NA Pf: NA Ce: NA Lu: NA Cs: NA Snow Duration: NA Building Code: IRC 2015 TPI Std: 2014 Rep Fac: Yes FT/RT/PT: 12(0)/0(0)/2(0) Plate Type(s): WAVE, HS	PP Deflection in loc L/defl L/# VERT(LL): 0.246 E 764 360 VERT(CL): 0.338 E 555 240 HORZ(LL): 0.054 U - - HORZ(TL): 0.075 U - - Creep Factor: 2.0 Max TC CSI: 0.813 Max BC CSI: 0.841 Max Web CSI: 0.317 VIEW Ver: 22.02.00.0914.11	Gravity Loc R+ / R- / Rh / Rw / U / RL AG 706 - / - /195 /89 - / - AB 1488 - / - /419 /191 - / - AI 788 - / - /218 /99 - / - Wind reactions based on MWFRS AG Brg Wid = 5.5 Min Req = 1.5 (Truss) AB Brg Wid = 5.5 Min Req = 1.5 (Truss) AI Brg Wid = 9.5 Min Req = 1.5 (Truss) Bearings AG, AB, & U are a rigid surface. Members not listed have forces less than 375# Maximum Top Chord Forces Per Ply (lbs) Chords Tens.Comp. Chords Tens. Comp.

Lumber

Top chord: 4x2 SP SS Dense; T3,T4 4x2 SP #2;
Bot chord: 4x2 SP SS Dense; B3 4x2 SP #2;
Webs: 4x2 SP #2;

See detail STRBRIBR1014 for bracing and bridging recommendations.

This drawing is for repair information only of a previously engineered design. See original drawing for truss design and information not shown on this drawing.

REPAIR SPECIFICATIONS:

The plates at joint O were damaged as shown.
Add gussets as noted.

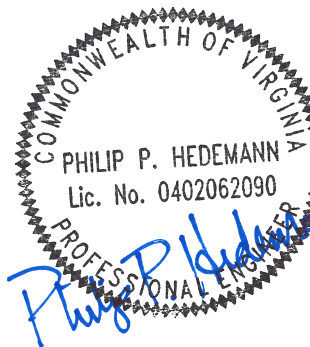
Repair members using 3/4" 48/24 APA rated sheathing glued and nailed to both faces of truss. Size gussets as shown. Trim gussets to match contours of truss.
Use structural adhesive AFG-01 (e.g. PL-400) prepared and applied per manufacturer's specs, with squeeze-out evident at all edges.
Use 10d Box or Gun nails (0.128" x 3.0") 1 row @ 2" o.c.
Nail into all members contacted by gussets.

Maximum Bot Chord Forces Per Ply (lbs)

Chords	Tens.Comp.	Chords	Tens. Comp.
AG-AF	1087 -203	Z - Y	2435 -420
AF-AE	1989 -347	Y - X	2435 -420
AE-AD	1989 -347	X - W	2436 -420
AD-AC	1739 -300	W - V	2421 -420
AC-AB	1154 -200	V - U	1225 -227
AA- Z	1187 -206		

Maximum Web Forces Per Ply (lbs)

Webs	Tens.Comp.	Webs	Tens. Comp.
AG- B	232 -1241	K - Z	922 -154
B -AF	759 -122	Z - M	90 -655
F -AC	131 -800	W - O	414 -256
AC- G	1124 -179	O - V	76 -486
G -AB	227 -1310	V - R	933 -151
AA- K	238 -1367	R - U	259 -1398



03/27/2023

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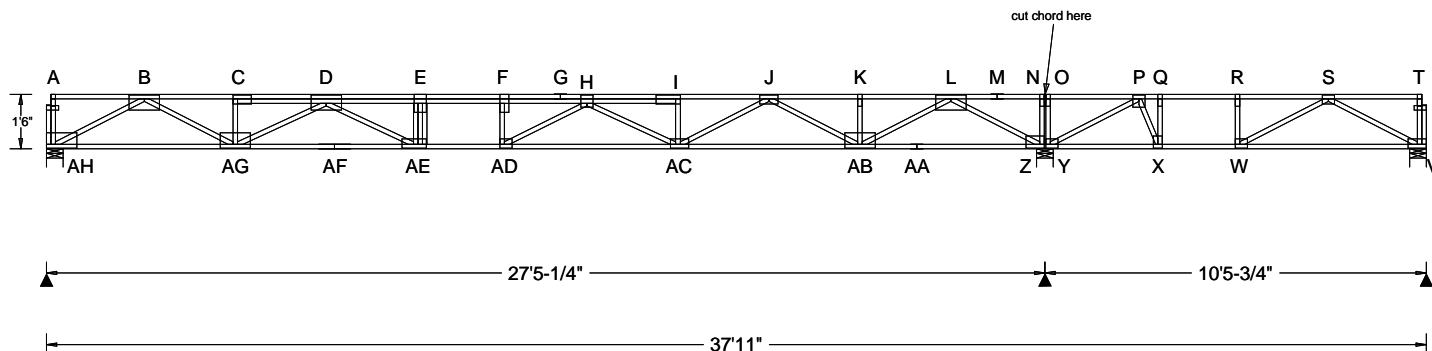
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155 Harlem Ave
North Building, 4th Floor
Glenview, IL 60025

SEQN: 91546 FROM:	SY42 Qty: 9	Ply: 1	Job Number: CCAR318962 Truss Label: A3	Cust: R 200 JRef: 1XOC2000003 T7 DrwNo: 086.23.1026.41483 KMS / PPH 02/24/2023
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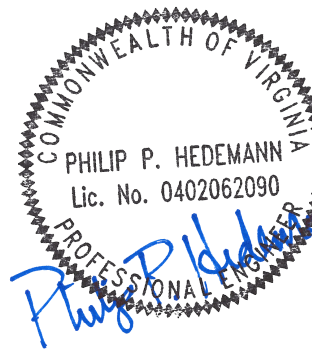
Loading Criteria (psf)	Wind Criteria	Snow Criteria (Pg,Pf in PSF)	Defl/CSI Criteria	▲ Maximum Reactions (lbs)
TCLL: 40.00 TCDL: 10.00 BCLL: 0.00 BCDL: 5.00 Des Ld: 55.00 NCBCLL: 10.00 Soffit: 2.00 Load Duration: 1.00 Spacing: 19.2 "	Wind Std: ASCE 7-10 Speed: 120 mph Enclosure: Closed Risk Category: II EXP: C Kzt: NA Mean Height: 15.00 ft TCDL: 5.0 psf BCDL: 3.0 psf MWFRS Parallel Dist: 0 to h/2 C&C Dist a: 3.79 ft Loc. from endwall: Any GCp: 0.18 Wind Duration: 1.60	Pg: NA Ct: NA CAT: NA Pf: NA Ce: NA Lu: NA Cs: NA Snow Duration: NA Building Code: IRC 2015 TPI Std: 2014 Rep Fac: Yes FT/RT/PT: 12(0)/0(0)/2(0) Plate Type(s): WAVE, HS	PP Deflection in loc L/defl L/# VERT(LL): 0.675 AD 482 360 VERT(CL): 0.928 AD 350 240 HORZ(LL): 0.102 V - - HORZ(TL): 0.141 V - - Creep Factor: 2.0 Max TC CSI: 0.481 Max BC CSI: 0.710 Max Web CSI: 0.504 VIEW Ver: 22.02.00.0914.11	Gravity Loc R+ / R- / Rh / Rw / U / RL Non-Gravity AH 1205 - / - / 335 / 153 - / - Z 1666 - / - / 469 / 214 - / - V 464 - / - / 127 / 57 - / - Y - / 169 Wind reactions based on MWFRS AH Brg Wid = 5.5 Min Req = 1.5 (Truss) Z Brg Wid = 5.5 Min Req = 1.5 (Truss) V Brg Wid = 5.5 Min Req = 1.5 (Truss) Bearings AH, Z, & V are a rigid surface. Members not listed have forces less than 375# Maximum Top Chord Forces Per Ply (lbs)

Lumber	See detail STRBRIBR1014 for bracing and bridging recommendations.	IMPORTANT! TC over the interior bearing(s), between verticals, must be cut after truss installation.	Maximum Top Chord Forces Per Ply (lbs)
Top chord: 4x2 SP SS Dense; Bot chord: 4x2 SP SS Dense; Webs: 4x2 SP #2; This drawing is for repair information only of a previously engineered design. See original drawing for truss design and information not shown on this drawing.			Chords Tens.Comp. Chords Tens. Comp. B - C 800 -3542 I - J 1232 -5445 C - D 802 -3551 J - K 781 -3457 D - E 1331 -5889 K - L 781 -3457 E - F 1336 -5909 P - Q 176 -782 F - G 1336 -5912 Q - R 179 -794 G - H 1336 -5912 R - S 177 -790 H - I 1234 -5451

REPAIR SPECIFICATIONS:
The top chord between joints N and O was not cut after installation. Cut the chord per the original design.

Maximum Bot Chord Forces Per Ply (lbs)
Chords Tens.Comp. Chords Tens. Comp.
AH-AG 1978 -450 AB-AA 1908 -436 AG-AF 4887 -1107 AA-Z 1908 -436 AF-AE 4887 -1107 Y - X 657 -150 AE-AD 5909 -1336 X - W 794 -179 AD-AC 6076 -1377 W - V 635 -148 AC-AB 4642 -1053

Maximum Web Forces Per Ply (lbs)
Webs Tens.Comp. Webs Tens. Comp.
AH- B 514 -2258 AC- J 916 -204 B - AG 1786 -399 J - AB 310 -1352 AG- D 346 -1512 AB- L 1768 -394 D - AE 1342 -252 L - Z 502 -2195 AE- E 104 -499 Y - P 173 -759 AD- H 462 -582 P - X 479 -74 H - AC 163 -711 S - V 168 -726

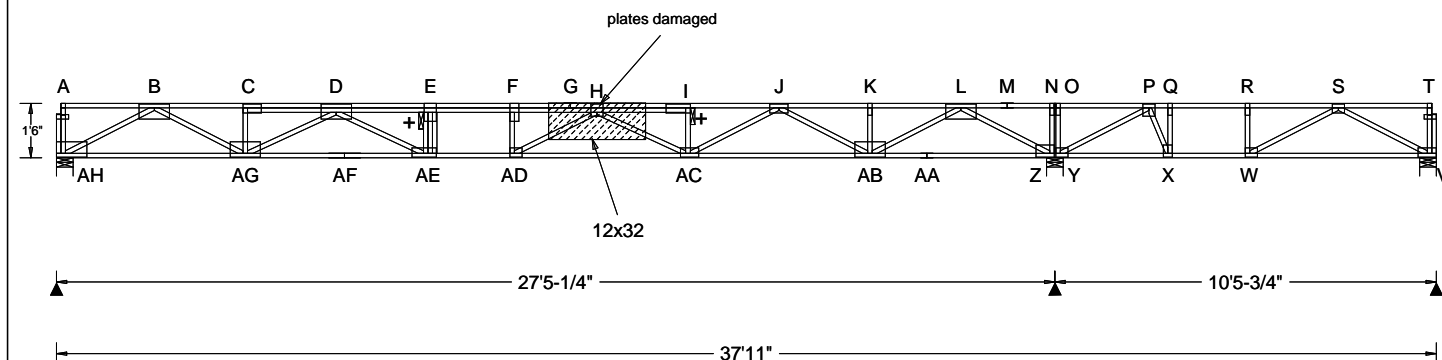


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ALPINE
AN ITW COMPANY
155 Harlem Ave
North Building, 4th Floor
Glenview, IL 60025

SEQN: 91546 FROM:	SY42 Ply: 1 Qty: 9	Job Number: CCAR318962 Truss Label: A3	Cust: R 200 JRef: 1XOC2000003 T11 DrwNo: 086.23.1332.21630 KMS / PPH 02/24/2023
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Loading Criteria (psf)	Wind Criteria	Snow Criteria (Pg,Pf in PSF)	Defl/CSI Criteria	▲ Maximum Reactions (lbs)
TCLL: 40.00 TCDL: 10.00 BCLL: 0.00 BCDL: 5.00 Des Ld: 55.00 NCBCLL: 10.00 Soffit: 2.00 Load Duration: 1.00 Spacing: 19.2 "	Wind Std: ASCE 7-10 Speed: 120 mph Enclosure: Closed Risk Category: II EXP: C Kzt: NA Mean Height: 15.00 ft TCDL: 5.0 psf BCDL: 3.0 psf MWFRS Parallel Dist: 0 to h/2 C&C Dist a: 3.79 ft Loc. from endwall: Any GCp: 0.18 Wind Duration: 1.60	Pg: NA Ct: NA CAT: NA Pf: NA Ce: NA Lu: NA Cs: NA Snow Duration: NA Building Code: IRC 2015 TPI Std: 2014 Rep Fac: Yes FT/RT/PT: 12(0)/0(0)/2(0) Plate Type(s): WAVE, HS	PP Deflection in loc L/defl L/# VERT(LL): 0.675 AD 482 360 VERT(CL): 0.928 AD 350 240 HORZ(LL): 0.102 V - - HORZ(TL): 0.141 V - - Creep Factor: 2.0 Max TC CSI: 0.481 Max BC CSI: 0.710 Max Web CSI: 0.504 VIEW Ver: 22.02.00.0914.11	Gravity Loc R+ / R- / Rh / Rw / U / RL Non-Gravity AH 1205 - / - / 335 / 153 - / - Z 1666 - / - / 469 / 214 - / - V 464 - / - / 127 / 57 - / - Y - / -169 Wind reactions based on MWFRS AH Brg Wid = 5.5 Min Req = 1.5 (Truss) Z Brg Wid = 5.5 Min Req = 1.5 (Truss) V Brg Wid = 5.5 Min Req = 1.5 (Truss) Bearings AH, Z, & V are a rigid surface. Members not listed have forces less than 375# Maximum Top Chord Forces Per Ply (lbs)

Lumber

Top chord: 4x2 SP SS Dense;
Bot chord: 4x2 SP SS Dense;
Webs: 4x2 SP #2;

This drawing is for repair information only of a previously engineered design. See original drawing for truss design and information not shown on this drawing.

REPAIR SPECIFICATIONS:

The plates at joint H were damaged as shown.
Add gussets as noted.

Repair members using 3/4" 48/24 APA rated sheathing glued and nailed to both faces of truss. Size gussets as shown. Trim gussets to match contours of truss.

Use structural adhesive AFG-01 (e.g. PL-400) prepared and applied per manufacturer's specs, with squeeze-out evident at all edges.

Use 10d Box or Gun nails (0.128" x 3.0") 1 row @ 2" o.c.
Nail into all members contacted by gussets.

See detail STRBRIBR1014 for bracing and bridging recommendations.

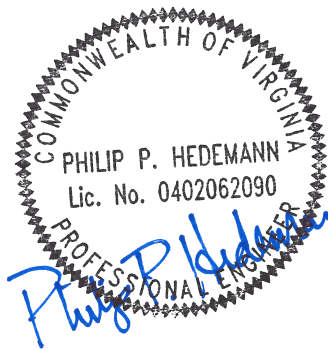
Chords	Tens.Comp.	Chords	Tens. Comp.
B - C	800 -3542	I - J	1232 -5445
C - D	802 -3551	J - K	781 -3457
D - E	1331 -5889	K - L	781 -3457
E - F	1336 -5909	P - Q	176 -782
F - G	1336 -5912	Q - R	179 -794
G - H	1336 -5912	R - S	177 -790
H - I	1234 -5451		

Maximum Bot Chord Forces Per Ply (lbs)

Chords	Tens.Comp.	Chords	Tens. Comp.
AH-AG	1978 -450	AB-AA	1908 -436
AG-AF	4887 -1107	AA-Z	1908 -436
AF-AE	4887 -1107	Y - X	657 -150
AE-AD	5909 -1336	X - W	794 -179
AD-AC	6076 -1377	W - V	635 -148
AC-AB	4642 -1053		

Maximum Web Forces Per Ply (lbs)

Webs	Tens.Comp.	Webs	Tens. Comp.
AH - B	514 -2258	AC - J	916 -204
B - AG	1786 -399	J - AB	310 -1352
AG - D	346 -1512	AB - L	1768 -394
D - AE	1342 -252	L - Z	502 -2195
AE - E	104 -499	Y - P	173 -759
AD - H	462 -582	P - X	479 -74
H - AC	163 -711	S - V	168 -726



03/27/2023

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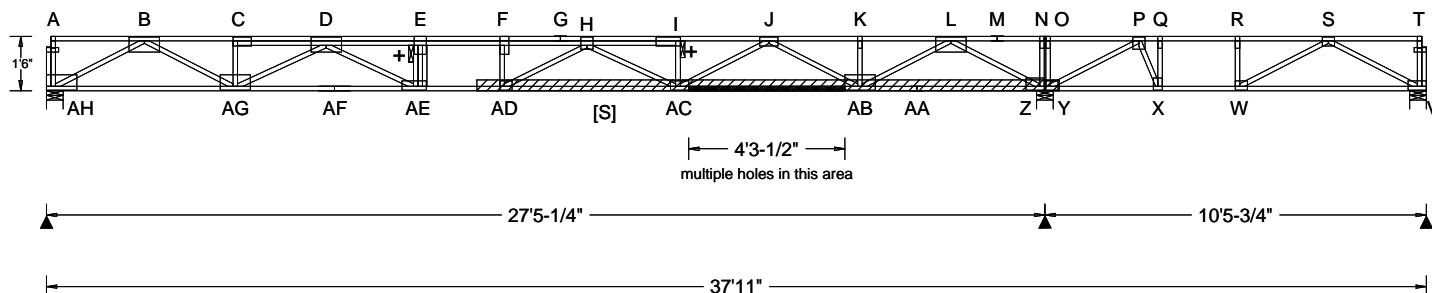
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155 Harlem Ave
North Building, 4th Floor
Glenview, IL 60025

SEQN: 91546 FROM:	SY42 Qty: 9	Ply: 1	Job Number: CCAR318962 Truss Label: A3	Cust: R 200 JRef: 1XOC2000003 T12 DrwNo: 086.23.1335.55497 KMS / PPH 02/24/2023
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Loading Criteria (psf)	Wind Criteria	Snow Criteria (Pg,Pf in PSF)	Defl/CSI Criteria	▲ Maximum Reactions (lbs)
TCLL: 40.00 TCDL: 10.00 BCLL: 0.00 BCDL: 5.00 Des Ld: 55.00 NCBCLL: 10.00 Soffit: 2.00 Load Duration: 1.00 Spacing: 19.2 "	Wind Std: ASCE 7-10 Speed: 120 mph Enclosure: Closed Risk Category: II EXP: C Kzt: NA Mean Height: 15.00 ft TCDL: 5.0 psf BCDL: 3.0 psf MWFRS Parallel Dist: 0 to h/2 C&C Dist a: 3.79 ft Loc. from endwall: Any GCp: 0.18 Wind Duration: 1.60	Pg: NA Ct: NA CAT: NA Pf: NA Ce: NA Lu: NA Cs: NA Snow Duration: NA Building Code: IRC 2015 TPI Std: 2014 Rep Fac: Yes FT/RT/PT: 12(0)/0(0)/2(0) Plate Type(s): WAVE, HS	PP Deflection in loc L/defl L/# VERT(LL): 0.675 AD 482 360 VERT(CL): 0.928 AD 350 240 HORZ(LL): 0.102 V - - HORZ(TL): 0.141 V - - Creep Factor: 2.0 Max TC CSI: 0.481 Max BC CSI: 0.710 Max Web CSI: 0.504 VIEW Ver: 22.02.00.0914.11	Gravity Loc R+ / R- / Rh / Rw / U / RL Non-Gravity AH 1205 - / - / 335 / 153 - / - Z 1666 - / - / 469 / 214 - / - V 464 - / - / 127 / 57 - / - Y - / 169 Wind reactions based on MWFRS AH Brg Wid = 5.5 Min Req = 1.5 (Truss) Z Brg Wid = 5.5 Min Req = 1.5 (Truss) V Brg Wid = 5.5 Min Req = 1.5 (Truss) Bearings AH, Z, & V are a rigid surface. Members not listed have forces less than 375# Maximum Top Chord Forces Per Ply (lbs)

Lumber

Top chord: 4x2 SP SS Dense;
Bot chord: 4x2 SP SS Dense;
Webs: 4x2 SP #2;

This drawing is for repair information only of a previously engineered design. See original drawing for truss design and information not shown on this drawing.

REPAIR SPECIFICATIONS:

Multiple holes were drilled through the bottom chord between the plates at joints AC and AB as shown. Add scabs as noted.

[S] new 16' 2X4 SP SS Dense or better scabs.
Center scabs about damaged area. Attach to both faces of truss using 10d Box or Gun nails (0.128" x 3.0").
1 row @ 2" o.c.

See detail STBRIBR1014 for bracing and bridging recommendations.

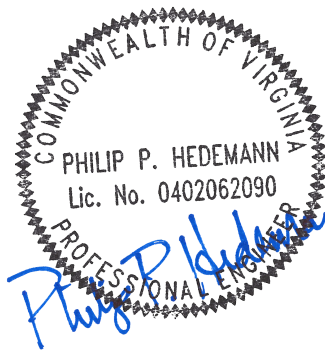
Chords	Tens.Comp.	Chords	Tens. Comp.
B - C	800 - 3542	I - J	1232 - 5445
C - D	802 - 3551	J - K	781 - 3457
D - E	1331 - 5889	K - L	781 - 3457
E - F	1336 - 5909	P - Q	176 - 782
F - G	1336 - 5912	Q - R	179 - 794
G - H	1336 - 5912	R - S	177 - 790
H - I	1234 - 5451		

Maximum Bot Chord Forces Per Ply (lbs)

Chords	Tens.Comp.	Chords	Tens. Comp.
AH-AG	1978 - 450	AB-AA	1908 - 436
AG-AF	4887 - 1107	AA-Z	1908 - 436
AF-AE	4887 - 1107	Y - X	657 - 150
AE-AD	5909 - 1336	X - W	794 - 179
AD-AC	6076 - 1377	W - V	635 - 148
AC-AB	4642 - 1053		

Maximum Web Forces Per Ply (lbs)

Webs	Tens.Comp.	Webs	Tens. Comp.
AH- B	514 - 2258	AC- J	916 - 204
B - AG	1786 - 399	J - AB	310 - 1352
AG- D	346 - 1512	AB- L	1768 - 394
D - AE	1342 - 252	L - Z	502 - 2195
AE- E	104 - 499	Y - P	173 - 759
AD- H	462 - 582	P - X	479 - 74
H - AC	163 - 711	S - V	168 - 726



03/27/2023

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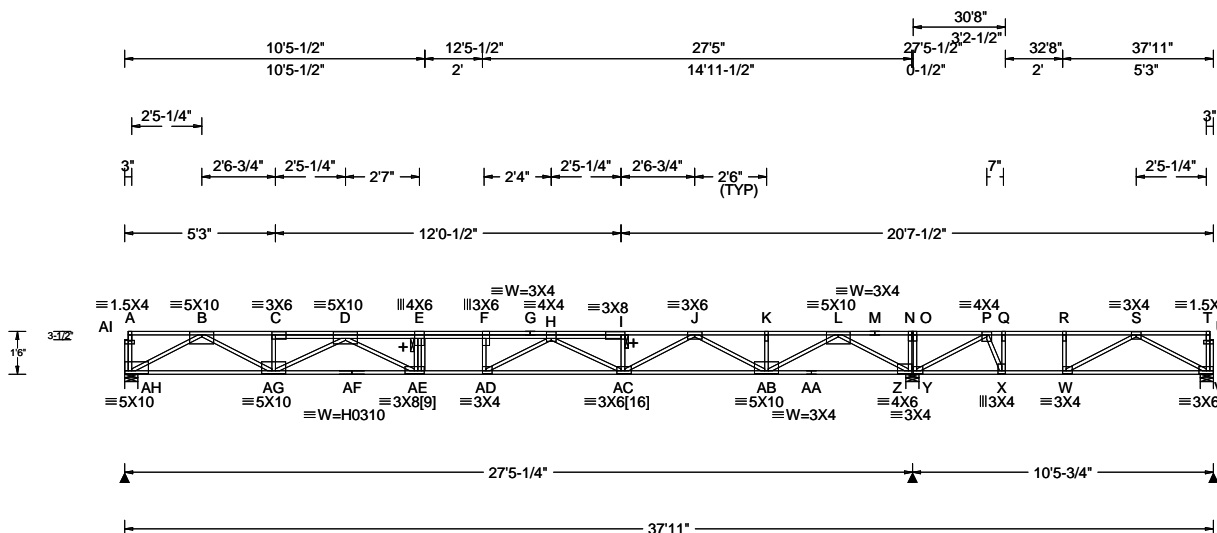
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155 Harlem Ave
North Building, 4th Floor
Glenview, IL 60025



Loading Criteria (psf)	Wind Criteria	Snow Criteria (Pg, Pf in PSF)	Defl/CSI Criteria	Maximum Reactions (lbs)
TCLL: 40.00 TCCL: 10.00 BCCL: 0.00 BCDL: 5.00 Des Ld: 55.00 NCBCLL: 10.00 Soffit: 2.00 Load Duration: 1.00 Spacing: 19.2 "	Wind Std: ASCE 7-10 Speed: 120 mph Enclosure: Closed Risk Category: II EXP: C Kzt: NA Mean Height: 15.00 ft TCCL: 5.0 psf BCDL: 3.0 psf MWFRS Parallel Dist: 0 to h/2 C&C Dist a: 3.79 ft Loc. from endwall: Any GCp: 0.18 Wind Duration: 1.60	Pg: NA Ct: NA CAT: NA Pf: NA Ce: NA Lu: NA Cs: NA Snow Duration: NA Building Code: IRC 2015 TPI Std: 2014 Rep Fac: Yes FT/RT/PT: 12(0)/0(0)/2(0) Plate Type(s): WAVE, HS	PP Deflection in loc L/def L/# VERT(LL): 0.675 AD 482 360 VERT(CL): 0.928 AD 350 240 HORZ(LL): 0.102 V - - HORZ(TL): 0.141 V - - Creep Factor: 2.0 Max TC CSI: 0.481 Max BC CSI: 0.710 Max Web CSI: 0.504 VIEW Ver: 22.02.00.0914.11	Gravity Loc R+ / R- / Rh / Rw / U / RL AH 1205 - / - / - /335 /153 -/ Z 1666 - / - / - /469 /214 -/ V 464 - / - / - /127 /57 -/ Y - / -169 Non-Gravity Wind reactions based on MWFRS AH Brg Wid = 5.5 Min Req = 1.5 (Truss) Z Brg Wid = 5.5 Min Req = 1.5 (Truss) V Brg Wid = 5.5 Min Req = 1.5 (Truss) Bearings AH, Z, & V are a rigid surface. Maximum Top Chord Forces Per Ply (lbs) Chords Tens.Comp. Chords Tens. Comp.

Lumber Top chord: 4x2 SP SS Dense; Bot chord: 4x2 SP SS Dense; Webs: 4x2 SP #2;	Plating Notes All plates are 1.5X4 except as noted.	Plate Shift Table
JT Plate Lateral Chord JT Plate Lateral Chord No Size Shift Bite No Size Shift Bite [9] 3X8 4.25 R 1.25 [16] 3X6 1.75 L 1.25		

Loading
Bottom chord checked for 10.00 psf non-concurrent
bottom chord live load applied per IRC-15 section 301.5.

Wind
Wind loads based on MWFRS with additional C&C member design.
End verticals not exposed to wind pressure.

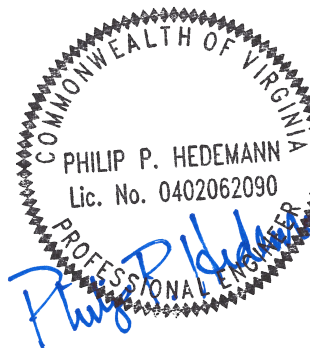
Deflection
Max JT VERT DEFL: LL: 0.67" DL: 0.32". See detail DEFLCMB1014 for camber recommendations.

Additional Notes
See detail STRBRIBR1014 for bracing and bridging recommendations.
Deflection estimate assumes composite action with single layer of the appropriate span rated glue-nailed wood sheathing.
IMPORTANT! TC over the interior bearing(s), between verticals, must be cut after truss installation.
Truss must be installed as shown with top chord up.

Chords	Tens.Comp.	Chords	Tens. Comp.
A - B	1 0	K - L	781 -3457
B - C	800 -3542	L - M	4 -1
C - D	802 -3551	M - N	4 -1
D - E	1331 -5889	N - O	0 0
E - F	1336 -5909	O - P	4 -1
F - G	1336 -5912	P - Q	176 -782
G - H	1336 -5912	Q - R	179 -794
H - I	1234 -5451	R - S	177 -790
I - J	1232 -5445	S - T	1 0
J - K	781 -3457		

Chords	Tens.Comp.	Chords	Tens. Comp.
AH-AG	1978 -450	AB-AA	1908 -436
AG-AF	4887 -1107	AA-Z	1908 -436
AF-AE	4887 -1107	Z-Y	0 0
AE-AD	5909 -1336	Y-X	657 -150
AD-AC	6076 -1377	X-W	794 -179
AC-AB	4642 -1053	W-V	635 -148

Webs	Tens.Comp.	Webs	Tens. Comp.
AI-AH	22 -97	K-AB	49 -190
A-AI	21 -81	AB-L	1768 -394
AH-B	514 -2258	L-Z	502 -2195
B-AG	1786 -399	Z-N	22 -88
AG-C	43 -127	O-Y	23 -90
AG-D	346 -1512	Y-P	173 -759
D-AE	1342 -252	P-X	479 -74
AE-E	104 -499	X-Q	58 -366
F-AD	220 -186	R-W	44 -89

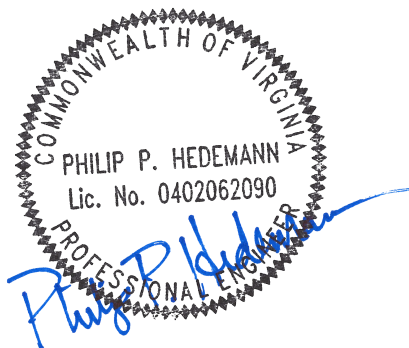


03/27/2023

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SEQN: 91546	SY42	Ply: 1	Job Number: CCAR318962	Cust: R 200	JRef: 1XOC2000003	T9
FROM:		Qty: 9	.	DrwNo: 086.23.1042.11547		
Page 2 of 2			Truss Label: A3	KMS / PPH	02/24/2023	

AD- H	462	-582	W - S	253	-34
H -AC	163	-711	S - V	168	-726
I -AC	34	-53	T - U	20	-74
AC- J	916	-204	V - U	0	-9
J -AB	310	-1352	U - V	21	-82



03/27/2023

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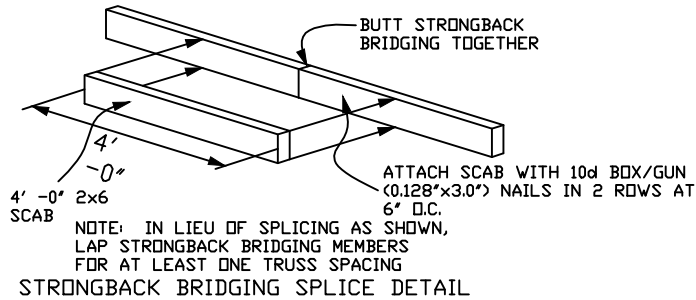
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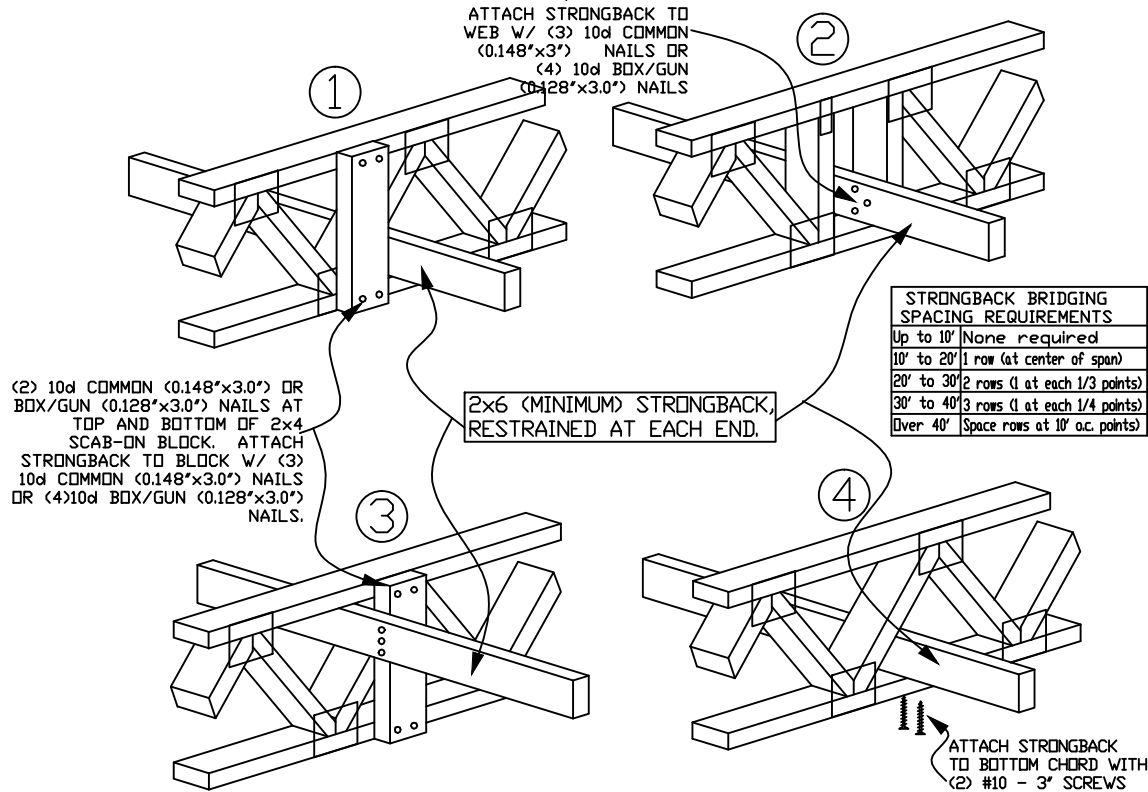
155 Harlem Ave
North Building, 4th Floor
Glenview, IL 60025

STRONGBACK BRIDGING RECOMMENDATIONS



- All scab-on blocks shall be a minimum 2x4 "stress graded lumber."
- All strongback bridging and bracing shall be a minimum 2x6 "stress graded lumber."
- The purpose of strongback bridging is to develop load sharing between individual trusses, resulting in an overall increase in the stiffness of the floor system. 2x6 strongback bridging, positioned as shown in details, is recommended at 10' - 0" o.c. (max.)

NOTE: Details 1 and 2 are the preferred attachment methods

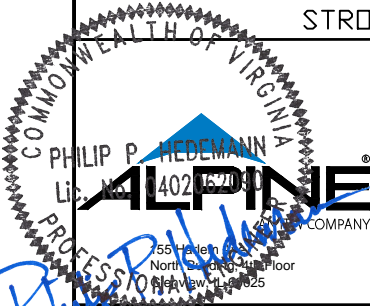


- The terms "bridging" and "bracing" are sometimes mistakenly used interchangeably. "Bracing" is an important structural requirement of any floor or roof system. Refer to the Truss Design Drawing (TDD) for the bracing requirements for each individual truss component. "Bridging," particularly "strongback bridging" is a recommendation for a truss system to help control vibration. In addition to aiding in the distribution of point loads between adjacent truss, strongback bridging serves to reduce "bounce" or residual vibration resulting from moving point loads, such as footsteps.

The performance of all floor systems are enhanced by the installation of strongback bridging and therefore is strongly recommended by Alpine.

For additional information regarding strongback bridging, refer to BCSI (Building Component Safety Information).

STRONGBACK BRIDGING ATTACHMENT ALTERNATIVES



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For more information see this Job's general notes page and these web sites:
ALPINE: www.alpineitv.com; TPI: www.tpinst.org; SBCA: www.sbcacomponents.com; ICC: www.iccsafe.org

TC LL	PSF	REF	STRONGBACK
TC DL	PSF	DATE	10/01/14
BC DL	PSF	DRWG	STRBRIBR1014
BC LL	PSF		
TOT. LD.	PSF		
DUR. FAC.	1.00		
SPACING			

Commentary: Deflection and Camber

Camber may be built into trusses to compensate for the vertical deflection that results from the application of loads. Providing camber has the following advantages:

- Helps to ensure level ceilings and floors after dead loads are applied.
- Facilitates drainage to avoid ponding on flat or low slope roofs.
- Compensates for different deflection characteristics between adjacent trusses.
- Improves appearance of garage door headers and other long spans that can appear to "sag."
- Avoids "dips" in roof ridgelines at the transition from the gable to adjacent clear span trusses.

In accordance with ANSI/TPI 1 the Building Designer, through the Construction Documents, shall provide the location, direction, and magnitude of all loads attributable to ponding that may occur due to the design of the roof drainage system. The Building Designer shall also specify any dead load, live load, and in-service creep deflection criteria for flat or low-slope roofs subject to ponding loads.

The amount of camber is dependent on the truss type, span, loading, application, etceteras.

More restrictive limits for allowable deflection and slenderness ratio (L/D) may be required to help control vibration.

The following tables are provided as guidelines for limiting deflection and estimating camber. Conditions or codes may exist that require exceeding these recommendations, or past experience may warrant using more stringent limitations.

L = Span of Truss (inches)
D = Depth of Truss at Deflection Point (inches)

Recommended Truss Deflection Limits

Truss Type	L/D	Deflection Limits	
		Live Load	Total Load
Pitched Roof Trusses	24	L/240 (vertical)	L/180 (vertical)
Floor of Room-In-Attic Trusses	24	L/360 (vertical)	L/240 (vertical)
Flat or Shallow Pitched Roof Trusses	24	L/360 (vertical)	L/240 (vertical)
Residential Floor Trusses	24	L/360 (vertical)	L/240 (vertical)
Commercial Floor Trusses	20	L/480 (vertical)	L/240 (vertical)
Scissors Trusses	24	0.75" (horizontal)	1.25" (horizontal)

Truss Type	Recommended Camber
Pitched Trusses	1.00 x Deflection from Actual Dead Load
Sloping Parallel Chord Trusses	1.5 x Vertical Deflection from Actual Dead Load
Floor Trusses	(0.25 x Deflection from Live Load) + Actual Dead Load
Flat Roof Trusses	(0.25 x Deflection from Live Load) + (1.5 x Design Dead Load Deflection)

Note: The actual dead load may be considerably less than the design dead load.

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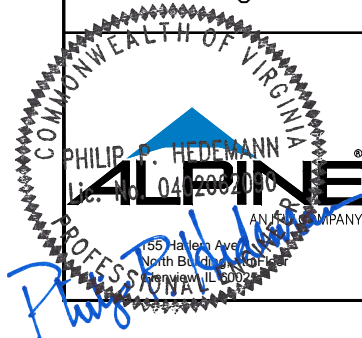
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REF	DEFLEC/CAMB
DATE	10/01/14
DRWG	DEFLCAMB1014





Lisa Gearhart <lkgearhart@gmail.com>

Alpine Repairs job number CCAR115209 (10.29.2021) / Jones Building Systems

Derickson, Daniel <derrickson@alpineitw.com>

Thu, Jun 1, 2023 at 1:22 PM

To: Lisa Gearhart <lkgearhart@gmail.com>

Good afternoon Lisa,

This is just my opinion:

I'd recommend a third party inspection from a local Engineer to determine the feasibility of repair based on the extended time the trusses have been in service without repair.

I would assume the lack of repair has induced further problems in need of attention.

thanks

Dan

Dan Derickson

Alpine

514 Earth City Expressway

Suite 242

Earth City, MO 63045

(314) 479-4280

dderickson@alpineitw.com

www.alpineitw.com



From: Lisa Gearhart <lkgearhart@gmail.com>

Sent: Thursday, June 1, 2023 9:30 AM

To: Hedemann, Philip <phedemann@alpineitw.com>; David Jones <jonesbldg@netscape.net>; David Jones <djones@jonestruss.com>

Subject: Alpine Repairs job number CCAR115209 (10.29.2021) / Jones Building Systems

**** External Sender ****

Hi,

[Quoted text hidden]



Lisa Gearhart <lkgearhart@gmail.com>

Alpine Repairs job number CCAR115209 (10.29.2021) / Jones Building Systems

Hedemann, Philip <phedemann@alpineitw.com>

Fri, Jun 2, 2023 at 1:25 AM

To: Lisa Gearhart <lkgearhart@gmail.com>, David Jones <djones@jonestruss.com>, David Jones <jonesbldg@netscape.net>

Lisa,

1- *Why are the trusses by design intended to have the **TC over the interior bearing(s)** cut or relieved?*

While it is true that some trusses by design are intended to have the TC over an interior bearing cut after installation, it is just as true that some trusses by design are intended to be continuous over the interior bearing. It is up to the building designer to determine if they want the truss to be continuous over multiple bearings (one clear span will affect the performance of the adjacent clear span) or non-continuous (one clear span has little effect on adjacent clear span). Neither option is inherently better or worse than the other, but whatever choice is used for the design of the truss, that is what is what should be done in the field. Often the building designer does not specify which option to use, which is possibly what happened in your case, but when they accept the truss designs, they are accepting the assumptions that the truss designer defaulted to.

*Would you please explain the purpose of this instruction in our truss design. " **IMPORTANT! TC over the interior bearing(s), between verticals, must be cut after truss installation**"*

The decision to cut the TC is made when the building designer wants to isolate relative movement/vibration between the two spans, while the decision to make the truss continuous is made when the building designer wants to rely on one clear span to help with the movement of the adjacent clear span. There is no "one size fits all" solution. Should the decision to cut or not cut the chord above the bearing be changed after the trusses have been installed, chords and webs will experience forces in them that were not factored into the original design, and some sort of repair might need to be done to mitigate the change. If there was an intent in the original design to isolate the movement and vibration between the two spans, an experienced professional structural engineer with access to the job site may see options that are not apparent to me, being a couple thousand miles away.

2- *With the trusses having been installed in Oct 2021 and the prolonged time without correction; do you still recommend and consider after cutting the TC over the interior bearing(s), that optimal truss performance will be achieved as designed? Are there any potential negative consequences that could result from performing this correction as prescribed?*

If you want to take advantage of the original design, the field conditions should match the assumptions made in the original design. Failure to match the field conditions to the design may (but won't necessarily) result in structural failure (which is an objective calculation and can be serious)

Philip P. Hedemann, P.E.

Senior Engineer, Team Lead

Alpine

514 Earth City Expressway

Suite 242

Earth City, MO 63045

www.alpineitw.com



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MICHIEHAMLETT

ATTORNEYS AT LAW

CHRISTOPHER JÁNSZKY

cjanszky@michiehamlett.com

Phone: 434.951.7285

Fax: 434.951.7245

October 23, 2023

VIA E-MAIL

Megan Fenner
Development Services
1255 Franklin Street, Suite 103
Rocky Mount, VA 24151
Megan.Fenner@franklincountyva.gov

**Re: Documents from Craig Caron concerning Written Request for Appeal to Franklin County
Local Board of Building Code Appeals regarding 197 Compass Cove, Moneta, VA 24121**

Dear Ms. Fenner,

Per your email dated October 17th, please find transmitted herewith Exhibits 1 through 11 concerning Craig Caron's written request for appeal dated October 5, 2023. Thank you for your assistance, and do not hesitate to contact me if you have any questions.

Sincerely,

Christopher Jánszky, Esq.

Encls.

C: Client (via email w/encls.)

TABLE OF CONTENTS OF DOCUMENTS OF CRAIG CARON BUILDER'S
APPEAL TO FRANKLIN COUNTY LOCAL
BOARD OF BUILDING CODE APPEALS

1. Inspection Worksheet dated March 11, 2021.
2. Residential Construction Contract dated March 30, 2021.
3. Building Plans dated June 28, 2021.
4. Franklin County Building Inspections Final Approvals dated July 1, 2021.
5. Letter from James Hardie Building Products to Robert and Lisa Gearhart
dated April 5, 2022.
6. Email from John Broughton to Lisa Gearhart, Craig Caron, and Bob
Gearhart re Gearhart Project – siding discussion 07.13.2022 dated July 14, 2022.
7. Inspection Worksheet from July 22, 2022.
8. Email from Lisa Gearhart to Craig Caron re water entering the basement
and lower garage dated November 15, 2022.
9. Official Notices of Violation from Franklin County dated September 5,
2023.
10. Permit Documents [various dates]
11. HardiPlank Lap Siding Clearance and Flashing Requirements and Fastener
Requirements [undated]

EXHIBIT 1

INSPECTION WORKSHEET (INSP-205881-2021) FOR FRANKLIN COUNTY

Case Number: RES-06-2021-60354

Case Module: Permit

Inspection Date: 11/03/2021

Inspection Status: Passed

Inspector: Samuel Matherly

Inspection Type: Pre-Slab

Job Address:

Parcel Number: 0481403700

Contact Type

Applicant
Contractor
Mechanics Lien
Owner

Company Name

CRAIG CARON BUILDER
FIRST CHOICE TITLE

Name

CRAIG CARON
CRAIG ANTHONY CARON

LISA K and ROBERT GEARHART

Checklist Item

Miscellaneous

Results

Pass

Comments

EXHIBIT 2

Residential Construction Contract

Virginia Class A

Contractor License No.: 2705096626A

Contractor Name: Craig Caron

Business Name: Craig Caron Builder

Address: P.O. Box 759
Hardy, Va 24101

Phone No.: 540-871-0848

Job Location: Lot #37, Compass Cove

Owner's Name & Address: Bob and Lisa Gearhart
1228 Peters Pike Road Wirtz, VA 24184

Job Description: I hereby propose to furnish the materials, tools & labor to complete the following work to construct the house plan drawn by Robert Hodges, Jr and dated 01-10-21, with 2034 sq ft finished on first floor, 2034 sq ft unfinished in basement, and 576 sq ft finished in upper garage. The work includes construction of the home and garage along with the corresponding front and rear porches and Metwood undergarage space as drawn. The work also includes the clearing necessary, excavation of homesite, septic tanks and pumpback connected to existing force main at street. Owner responsible for verifying and locating existing force main attachment at street. Contractor responsible for attachment of water line from home to water meter at the street. Owners responsible for any water hook-up fees, pump-back plans if necessary and septic permit. The home includes a one year whole house warranty along with corresponding factory warranties for HVAC, appliances etc, and 10 year basement warranty.

The scope of the work provided by the contractor includes the following items:

1. Obtaining building permit
2. Construction of the house plan indicated through the issuance of the Certificate of Occupancy
3. Adherence to Erosion & Sediment Control Permit Guidelines
4. 10 ft. foundation wall with foundation coating and footer drain tile.
5. Pella Lifestyle and 250 Series windows, sliding doors and Lifestyle entry door per Pella quote.
6. 2 - 14 Seer Daikin electric HVAC units for 1st floor and basement

conditioning. Each HVAC unit includes required fresh air intakes.

7. Gravel drive

8. Owens Corning 30 yr architectural shingles or equivalent GAF Timberline. Other equivalent 30 yr architectural shingles shall be used if prior unavailable.

9. James Hardie lap siding, trim, fascia and soffit and stone veneer on exposed portions of basement per plan. Stone veneer everywhere as depicted on house plan.

10. Builder will provide 400 amp electric service with 2- 200 amp panels at the breaker box in the basement of the home. Owner responsible for underground electric service cost to home. Builder will attach and trench dock wire from dock to home once home is completed.

11. Builder will install two 1000 gal. septic tanks, pump, and controls, and attach force main to connection at street.

12. Grade, seed, straw lot - No landscaping included, no retaining walls.

13. Excavation and all necessary sitework included to construct the home.

14. Rock clause applies. If rock is encountered during excavation, owners are responsible for any additional costs for removal.

15. Owners choice for home colors inside (max. 4 colors) & out (max. 2 colors).

16. Oversize 5 inch white gutters and 3x4 downspouts included with piping away from house as and if needed.

17. Gravel driveway installation is included, no paving.

18. R-38 ceilings, R-19 insulation in 2x6 exterior framed walls, R-15 elsewhere.

19. Smooth plaster finish on walls and light texture in ceilings. Light texture finish in closets and garage.

20. The contract includes 2 gas line hook-ups.

21. 3 -Wayne Dalton 9100 Series garage doors, 2- openers, 2- remotes, and one exterior key pad opener included, no opener for undergarage door.

22. Exhaust fans for the bathrooms are included.

23. Any additional charges for electrical upgrades which are not standard will be noted during the walkthrough with the electrician and billed as a change order, ie dimmers, additional outlets/fixtures etc. Two electrical outlets on the island and one floor outlet are included.

24. 1 Ceramic shower is included per plan.

25. Fiberon "Good Life" composite decking face screwed, Avalon aluminum handrail and balusters for rear covered porch.

26. 1 - Electric 75 gal. water heater.

27. All basement exterior walls framed and insulated.

28. All load bearing walls/beams in basement framed. No finishing in basement is included. Baths and kitchenette will be roughed in for basement.
29. Tile bathroom floors including closets in bathrooms.
30. 5 inch wood baseboard, 3.25 inch 445 wood window casing and door trim, hollow core interior doors, craftsman style interior doors or other trim styles are an additional cost.
31. One Monessen 36 inch GCUF nonvented fireplace with gas logs (\$1,200 allowance), stone veneer (\$280/Basket) fireplace per plan and cedar mantle.
32. Concrete front porch and patio under rear covered porch. Owners are responsible for retaining wall that will be necessary for patio.
33. Stained pine treads and risers for stairs.
34. ¾ inch tongue and groove moisture resistant subfloor LP350 or equivalent Advantech. Other equivalent subfloor shall be used if prior unavailable.
35. 8x8 Cedar posts on front porch and 6x6 treated yellow pine on rear porch wrapped to look like rear porch at 555 Compass Cove Drive. Includes smart panels for front and rear porch ceilings. Optional upgrade to tongue and groove porch ceiling at additional cost.
36. Stairwell to include handrail and posts.
37. Builder responsible for removal of any excess dirt.
38. Builder will bury propane tank purchased by owner.

Allowances are as follows and included in the contract price. Additional installation fees do not apply. The contract price shall be adjusted by allowance increases or decreases.

ITEM	UNIT PRICE	LUMP SUM
Pella - Lifestyle and 250 Series windows, sliding doors and Lifestyle entry door per Gearhart Residence - Lifestyle - 12083842.pdf	n/a	\$37,597
Elegant Woodworks - Kitchen cabinets including island, and 3 - bath cabinets, per design and drawings	n/a	\$20,697
Piedmont Surface - Granite for Kitchen cabinets including island and 3 - bath cabinets remnant granite tops per Elegant Woodworks design and drawings	n/a	\$8,190
Electrical fixture allowance \$4,250 includes 26 can lights, 1 dining chandelier, 10 exterior lights, 3 flood light kits, 2 interior garage fluorescents, 4 vanity lights, 3 closet fluorescents, 3 light/fan combos, 1 exterior fan, 2 stairwell sconces and bulbs. Additional can lights may be added @ \$75/per can light.	\$75/per can light extra	\$4,250
Plumbing fixture allowance: \$3,050 includes 1 free standing tub, 1 tub shower combination, 1 kitchen faucet and valve, 1 garbage disposal, 1 icemaker valve, 3 American Standard Cub Cadet commodes, 4 vanity faucets and valves, 2 rain shower faucets and valves.	n/a	\$3,050
Door Hardware	n/a	\$640
Wood closet shelving - Single Rod & shelf in closets except master closet which will be customized.	n/a	included
Bath Hardware (Towel Rings, Paper Holders, Towel Rods)	n/a	\$240
Flooring materials: 5" hardwood @ \$5.50/sq ft for all main floor except baths, closets and utility room, Tile @ \$2.50/ sq.ft. in baths and utility room, and closets. Builder will provide labor.	hardwood @ \$5.50/sq ft tile @ \$2.50/ sq ft	
Appliance allowance		\$2,000

Natural stone Veneer for exterior stone (depicted per plan) and fireplace: \$280/basket maximum allowance.	\$280/basket	n/a
Front Door Allowance: Included with Pella window and door quote.	n/a	n/a
1 Tile Shower	tile @ \$2.50/ sq ft	n/a
One Monessen 36 inch GCUF nonvented fireplace with gas logs (\$1,200 allowance), stone veneer (\$280/Basket) fireplace per plan and cedar mantle.		

The contract price is \$555,000.00 for the work listed above. Draws will be paid according to this contract payment schedule. Any bank charges for draw inspections are the responsibility of the owner. The work is estimated to begin in May 2021. The construction duration will take approximately twelve (12) months from the time it is started and could lengthen due to unforeseen circumstances such as materials availability. Contractors payment schedule: 5% due at contract signing or before commencement of construction, and draws due according to attached builder approved bank draw schedule. If a bank loan is to be applied for, any construction progress payments to be made during the course of construction are to be made per the builder's approved progress inspection sheet. The above work is to be completed in a workmanlike manner in accordance with the drawings and specifications as well as local building codes.

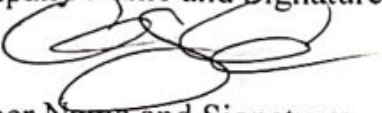
Conditions of the Contract:

1. Changes: No changes in the above work will be made without written authorization from the owner. Any alteration or deviation from the above work description involving extra cost or labor will be undertaken only after the written order is signed by the contractor and the owner.
2. Hidden Conditions: The contractor is not responsible for extra work resulting from hidden conditions that may be discovered during work. Any hidden conditions constituting a change in design or cost must be communicated to the owner immediately. For changes refer to paragraph 1 in Conditions of the Contract.
3. Schedule delays: Project start and end dates are approximate, and may be affected by unavoidable conditions such as weather, material, and equipment delays, and changes to work. The schedule will be adjusted accordingly.
4. Non-payment: Following bank inspection approval, if the scheduled payment is (10) days past due, the contractor reserves the right to stop work on the project with written notice. The owner is responsible for any and all expenses related to non-payment.
5. Site Safety: The contractor will make every effort to keep the site safe. Contractor also agrees to provide evidence of current business liability and workers compensation insurance.

6. Dispute Resolution: In the event of a dispute that is not resolved between the contractor and owner, both parties agree to mediation prior to litigation as a term of this agreement.

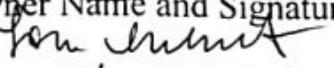
7. Scope of Agreement: This contract reflects the entire agreement between the contractor and the owner and takes precedence over any and all previous oral or written agreements.

Company Name and Signature:



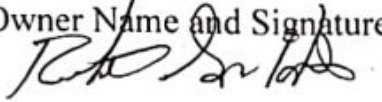
Date: 03-30-21

Owner Name and Signature:



Date: 03-30-21

Owner Name and Signature:



Date: 03 30 - 21

EXHIBIT 3

Bldg Permit # 60354
Approval by SP
Date 6-28-2021



Franklin County
A Natural Setting for Opportunity

Customer
Copy

Development Services
Department of Building Inspections

Required Inspections

- ☒ Footing Perimeter (after excavation and before concrete is placed)
- ☒ Footing Interior Piers (after excavation and before concrete is placed)
- ☒ Footing Interior Load Bearing Walls (after excavation and before concrete is placed)
- ☒ Footing Garage (after excavation and before concrete is placed)
- ☒ Footing Porch/Deck (after excavation and before concrete is placed)
- ☒ Foundation Walls (Pre-pour inspection with rebar in place)
- ☒ Structural Reinforcement Engineered Slabs or Foundation Walls (before concrete is placed)
- ☒ Temporary Electric Service
- ☒ Under Slab Plumbing
- ☒ Pre-slab (after gravel, plastic and R10 insulation are in place , before concrete is placed)
- ☒ Drain Tile / Foundation (after damp proofing, gravel, DT pipe and silt fabric are in place.)
- ☒ Braced Wall Inspection Required for Portal Frame walls only. (before house wrap and siding are installed)
- ☒ Building Envelope Air Barrier Inspection (see the energy code compliance sheet with the approved plans)
- ☒ Rough In Electric
- ☒ Rough In Plumbing
- ☒ Rough In Mechanical
- ☒ Rough In Gas
- ☒ Framing (after elec. plbg, hvac, fire stopping, draft stopping and windows are installed)
- ☒ Insulation
- ☒ Permanent Power (house must be dried in and shingles installed)
- ☐ Flood Plain.....
- ☒ Final (Post 911 address.)

Franklin County performs combination inspections, please group inspections when possible. No component should be concealed without an approved inspection. Inspection request must be in prior to 3:30 the day before to be put on the following day's schedule. Any amendment or revision to the Approved Plans requires an additional review. **Approved Plans must be kept at the job site at all times.**



Franklin County

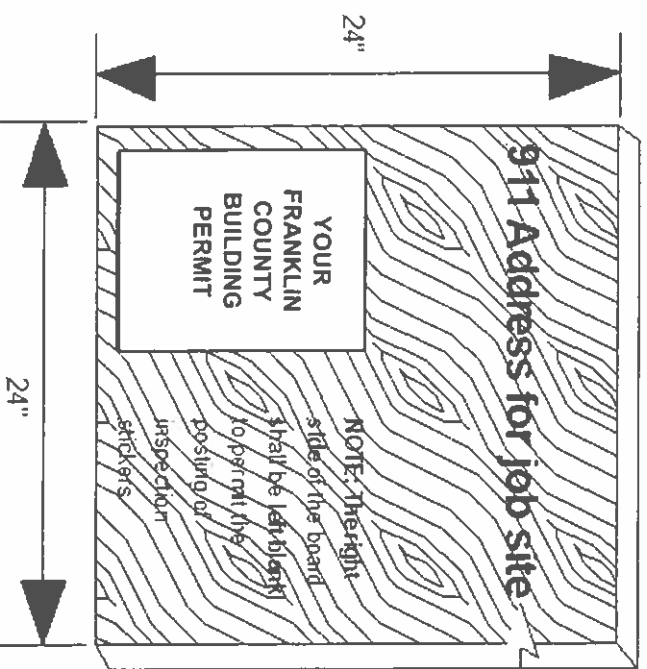
DEVELOPMENT SERVICES
DEPARTMENT OF BUILDING INSPECTIONS

PERMIT POSTING AT A JOB SITE

1. You must post your permit at the jobsite in a location clearly visible from the street. (USBC Section 110.5)
2. Inspections will not be performed unless permit is displayed and is clearly visible from the street. If, at the time of the first inspection, you have not received your permit in the mail, you must still have the sign, with the 911 address, in place.
3. Your permit must be posted on a minimum two feet (2') by two feet (2') sheet plywood, which must be laid out in compliance with the standard shown in figure 1.
4. For manufactured housing in mobile home parks, your permit must be placed either on a sign or in a window facing the street.
5. Plans that have been approved & stamped by Franklin County Building Inspections shall be on site for use with ALL inspections (USBC 109.5)
6. If the site is not properly posted before construction begins, or if the approved plans are not available at ANY inspection, a re-inspection fee shall be charged.

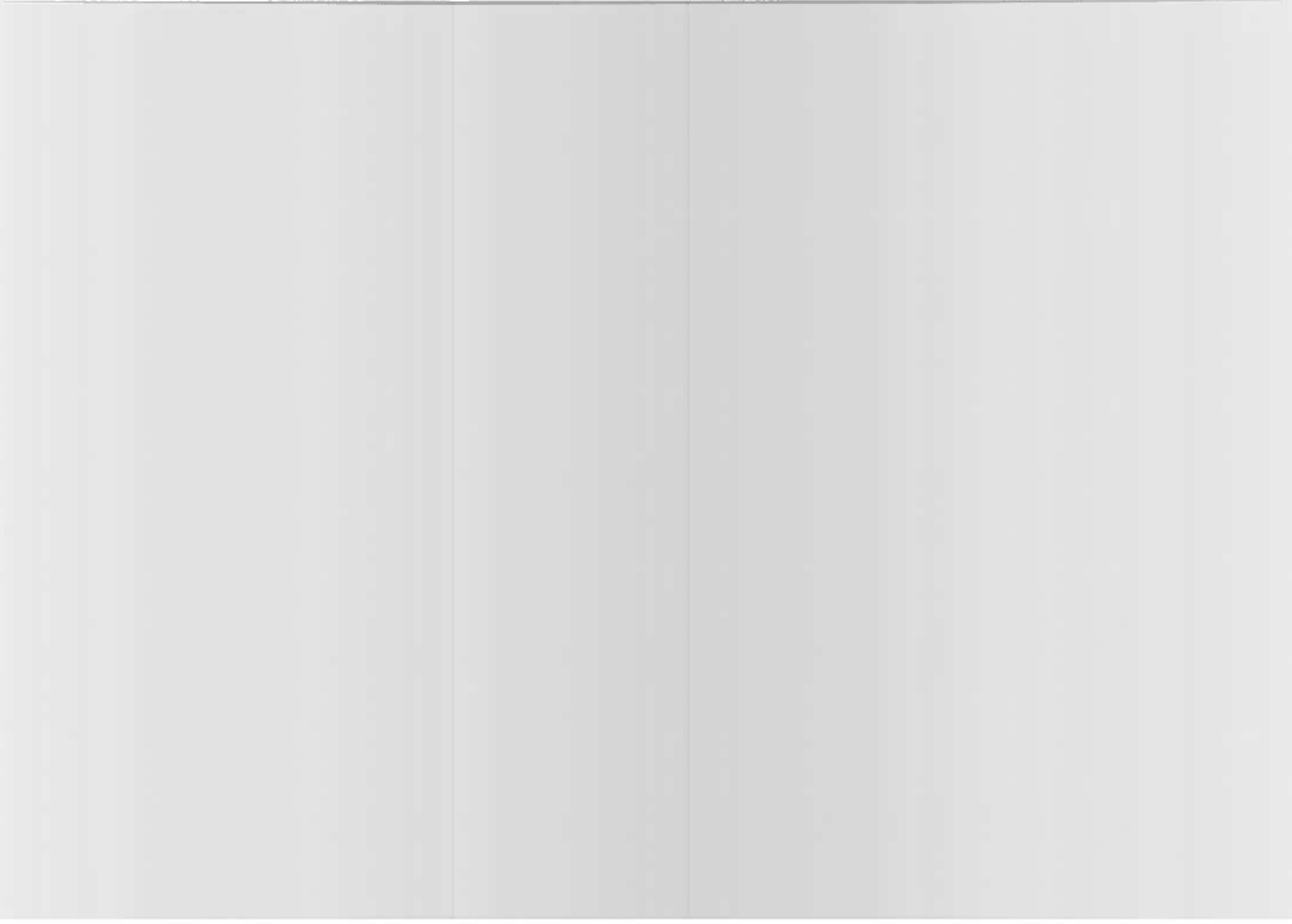
NOTE: Store bought job boxes are allowed such as they meet the below requirements for Permit Posting

Layout of Permit Sign



Note: The 911 Address must use a minimum of 3" letters.

1255 FRANKLIN ST., SUITE 103
ROCKY MOUNT, VIRGINIA 24151
540-483-3047
www.franklincountyva.gov



THESE ARE THE COMPACT CODES FOR EACH STATE

2015 LIKE W/ VA AFFIDAVITS
2016 NPE W/ VA AFFIDAVITS
2015 ILC*

DESIGN LOANS:

[illegible]

DEPARTMENT OF BUILDING INSPECTIONS

Application No. 40364 Code Edition 2013

These drawings have been reviewed in accordance with the current edition of the applicable codes and standards. It is performed as a courtesy to assist the designer in identifying potential code compliance issues. It is not a substitute for compliance and does not constitute authority to violate, vary or modify any applicable code requirements. An approved set of these drawings must be present on the job site and available to inspection personnel. Any revisions or additions to these drawings must be submitted for approval.

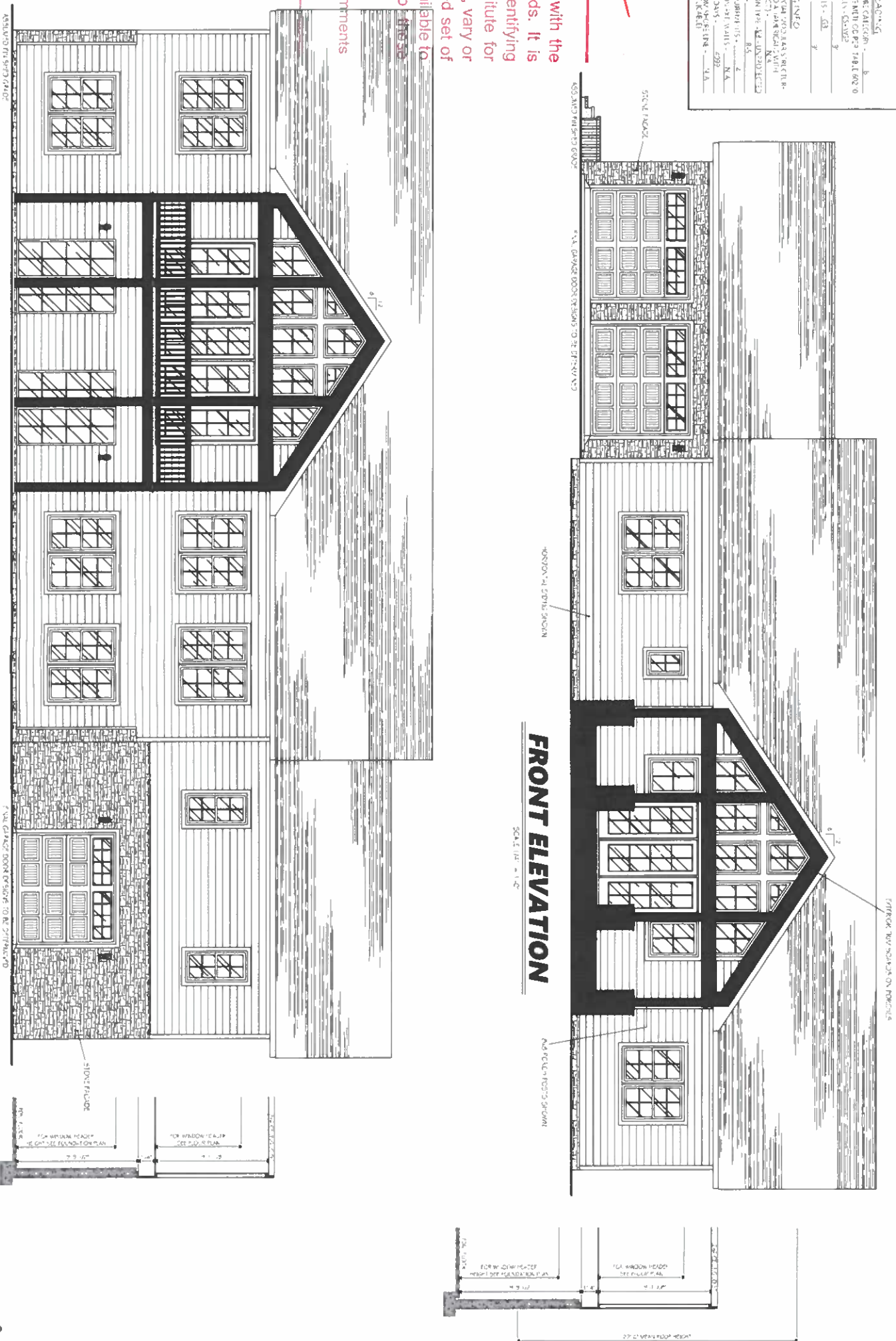
Approved _____

6-8-2021

Deaf

Approved subject to review comments

Reviewed by



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GEARHART - RESIDENCE

PROJECT DRAWN BY
ROBERT F. HODGES JR.
EMAIL: KEWLDESIGNS@YAHOO.COM
PHONE: 504.394.7767

APPROVED

FOR DEPOSIT
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PAGE 1 OF 7

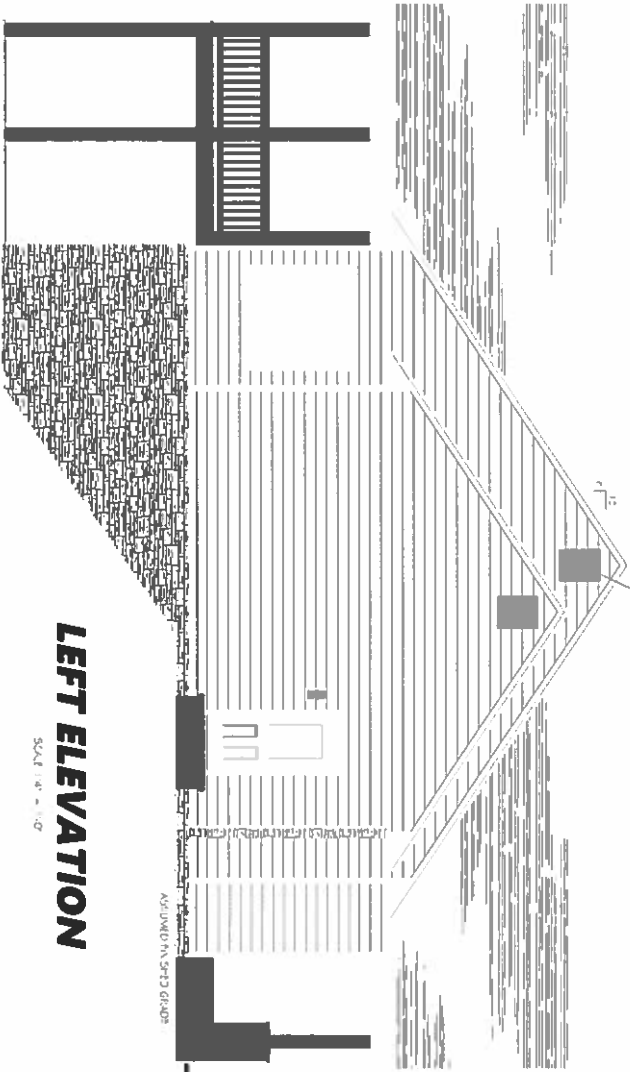
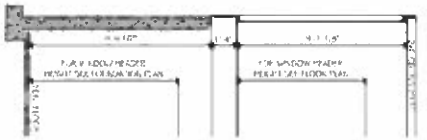
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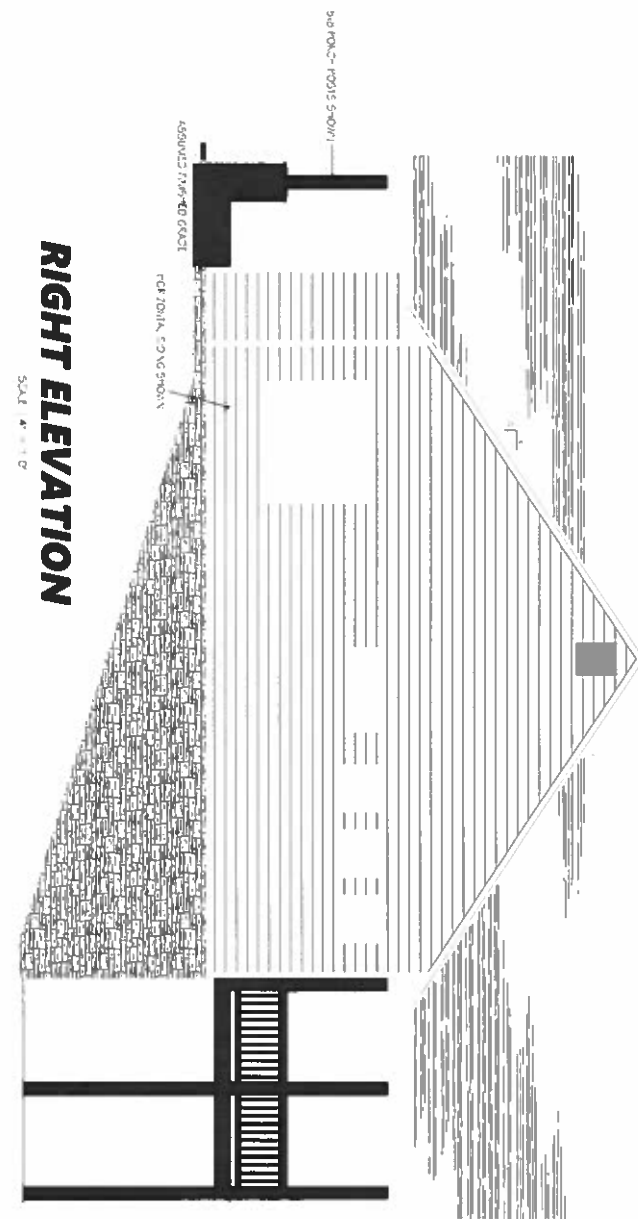
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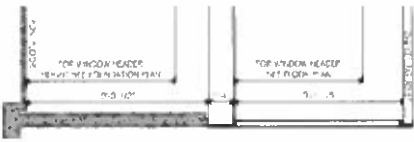
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RIGHT ELEVATION

SCALE 1/4" = 1'-0"



GEARHART - RESIDENCE

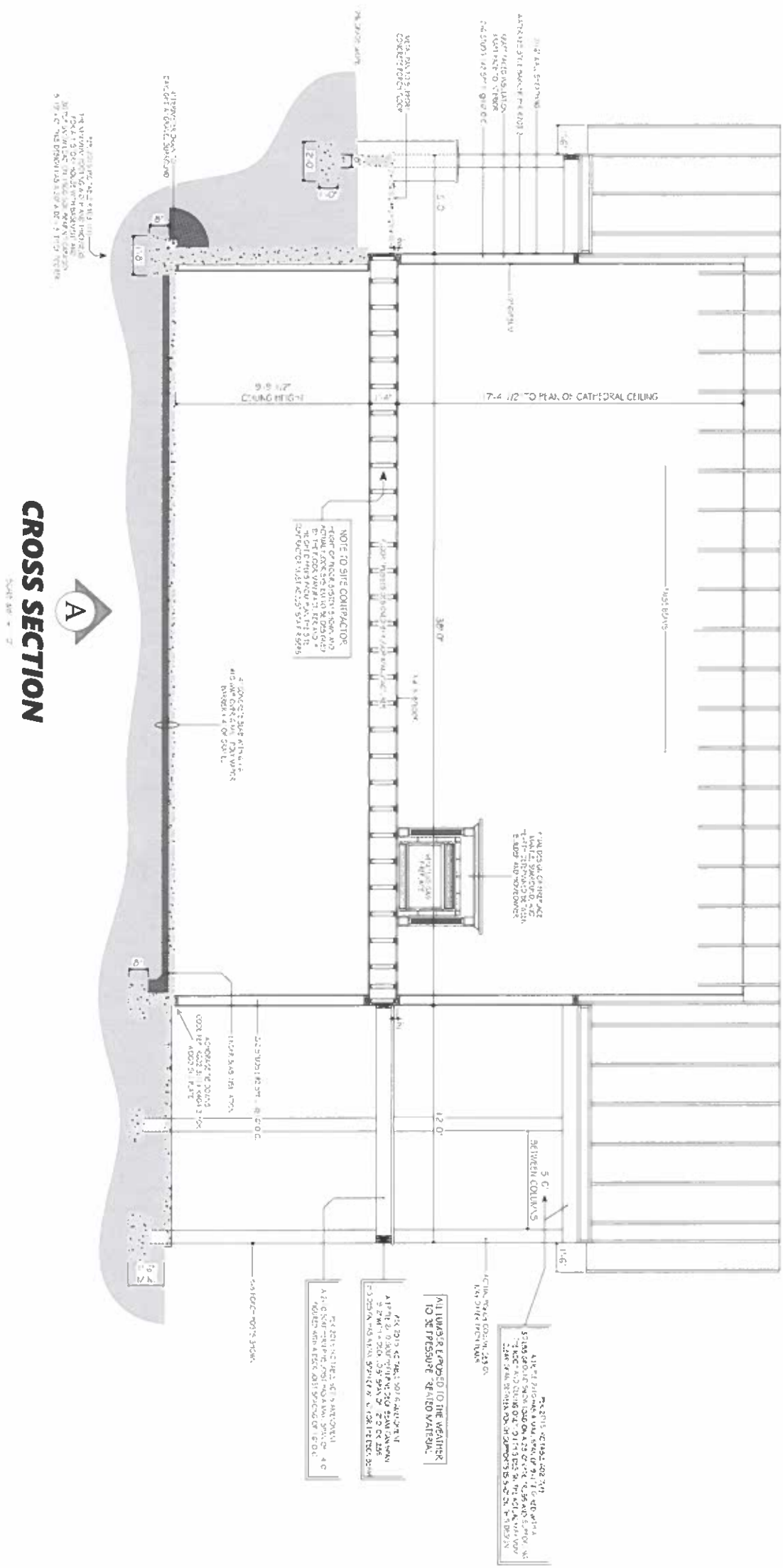
FRANKLIN COUNTY, VA

PROJECT DRAWN BY:
ROBERT F. HODGES JR.
EMAIL: KEWLDESIGNS@YAHOO.COM
PHONE: (540) 495-1764

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REVISIONS:
1/1/00

SHEET #
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PLANS ARE SUGGESTIVE ONLY AND BUILDER MUST CHECK AND CONFIRM ALL DIMENSIONS ON PLANS. BUILDING MUST BE CONSTRUCTED TO MEET ALL STATE AND LOCAL BUILDING CODES AND IS SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING OFFICIAL.

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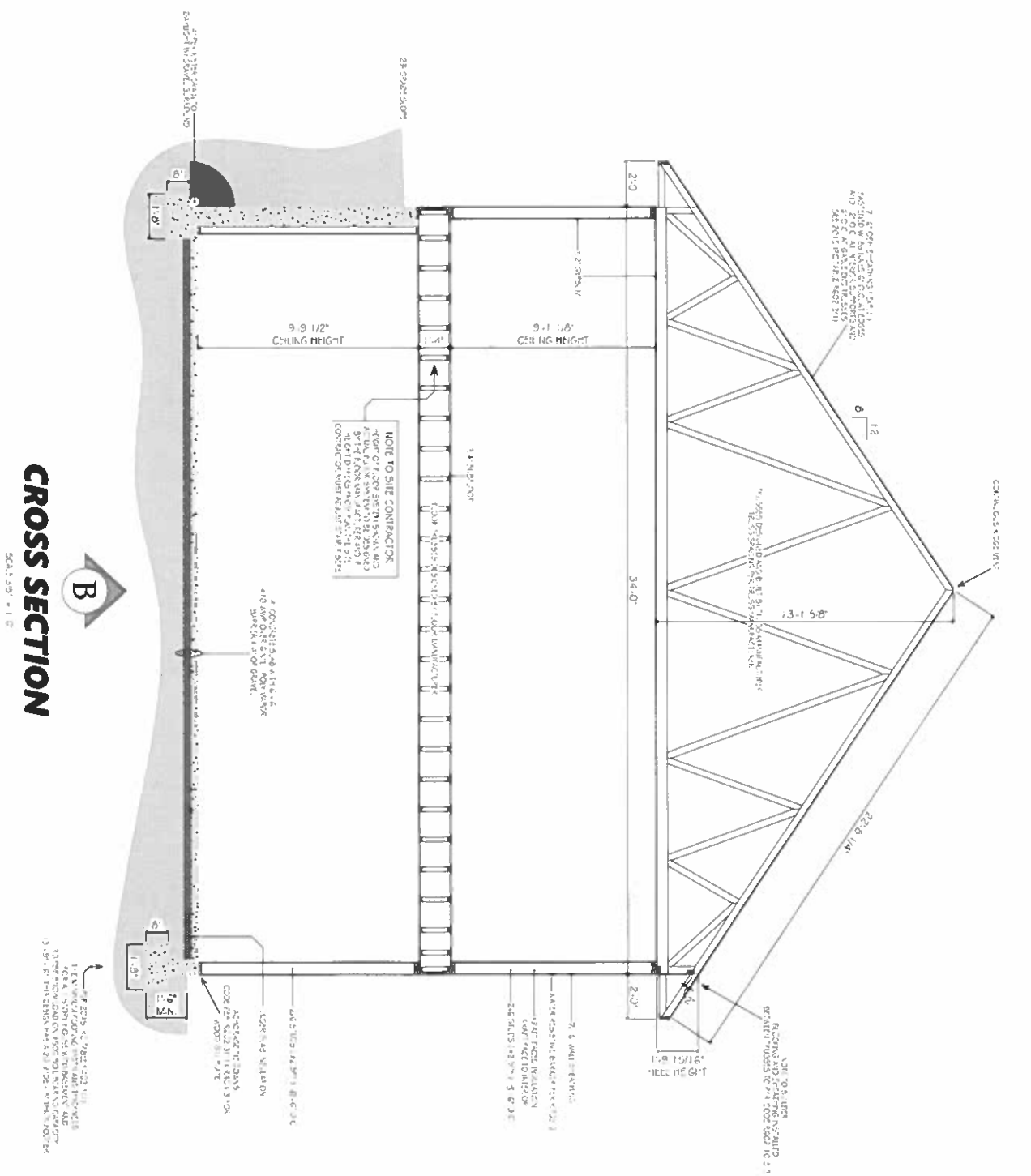
GEARHART - RESIDENCE

PROJECT DRAWN BY
ROBERT F HODGES JR
EMAIL: KEWLDESIGNS@YAHOO.COM
PHONE: (540) 494-1767

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APPROVED
PAGE 4 OF 7



PLANS, SPECIFICATIONS, AND BY-LAWS MUST CHECK AND CONFIRM ALL DIMENSIONS ON PLANS. BUILDING MUST BE CONSTRUCTED TO MEET ALL STATE AND LOCAL BUILDING CODES AND IS SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.



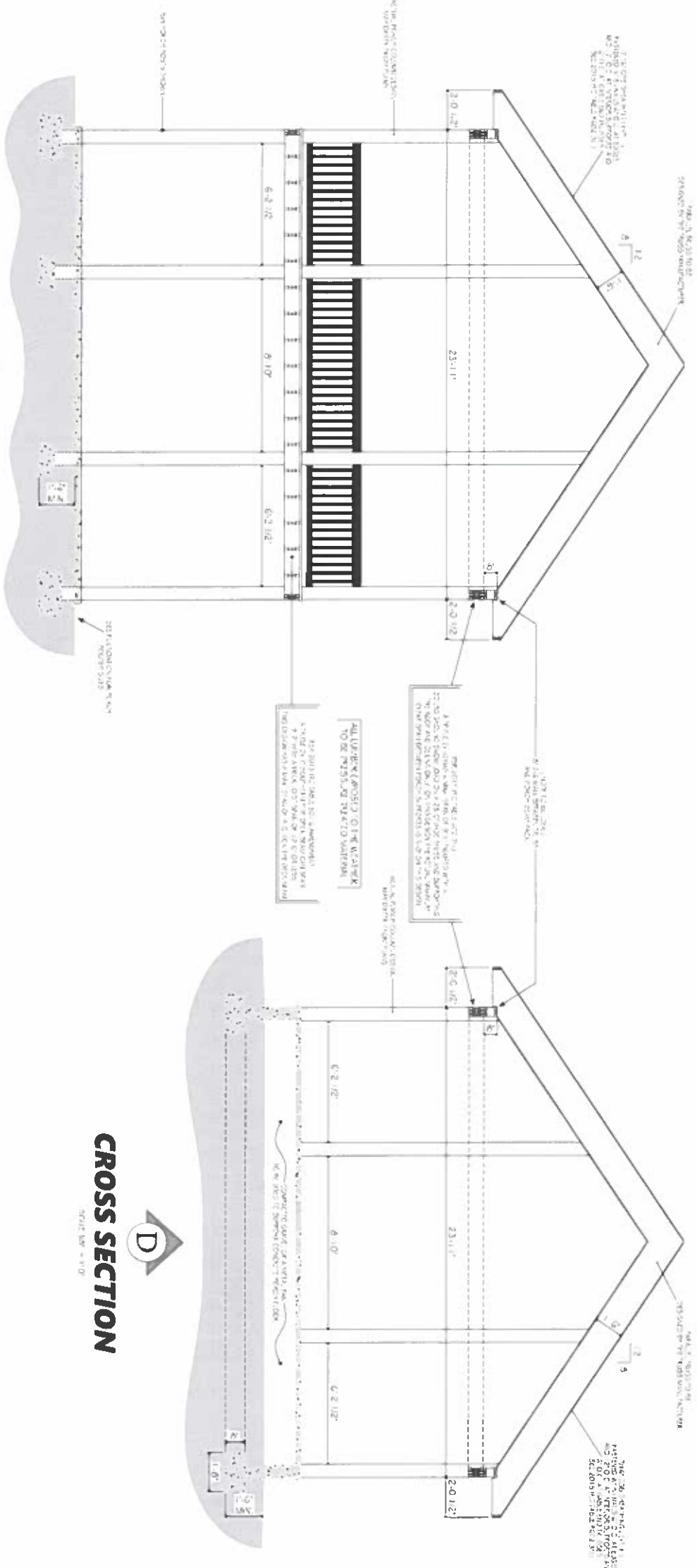
GEARHART - RESIDENCE

PROJECT DRAWN BY
ROBERT F. HODGES JR.
E-MAIL: KFWLDESIGNS@YAHOO.COM
PHONE: (540) 494-776*

8
SHEET

PLANS AND SUGGESTIONS AND BUILDER MUST CHECK AND CONFORM ALL DIMENSIONS ON PLANS. BUILDING MUST BE CONSTRUCTED IN ACCORDANCE WITH LOCAL BUILDING CODES AND IS SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING OFFICIAL.

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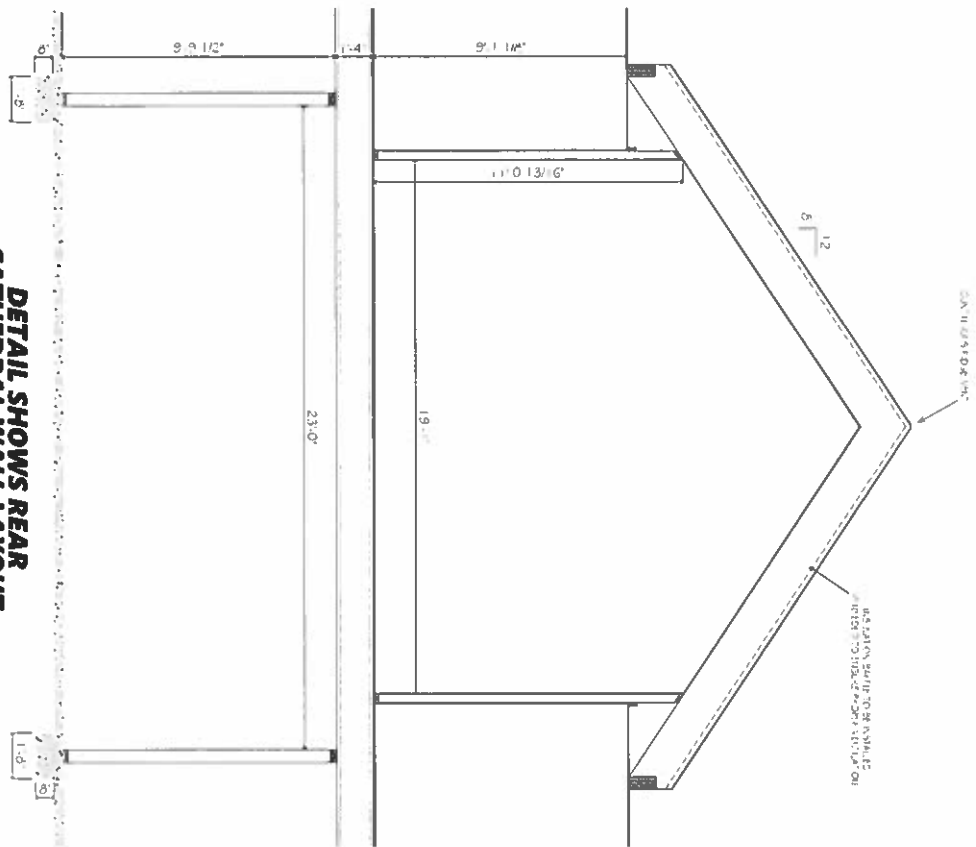
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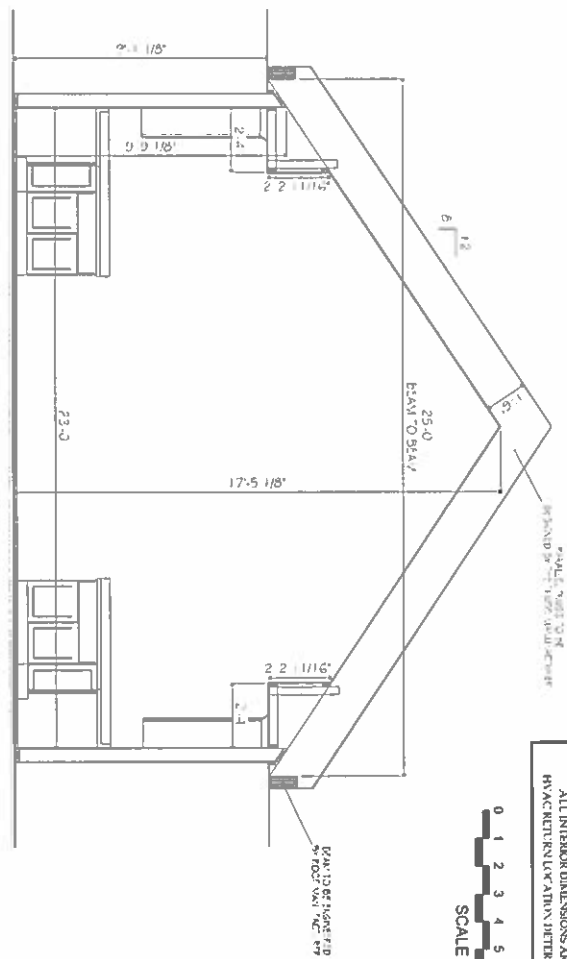
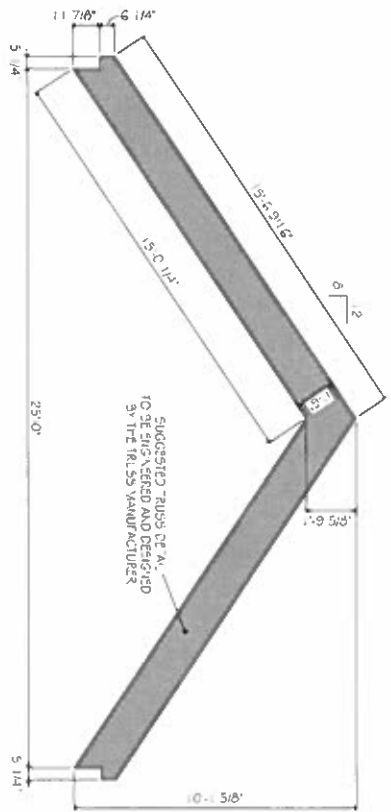
GEARHART - RESIDENCE

FRANKLIN COUNTY, VA

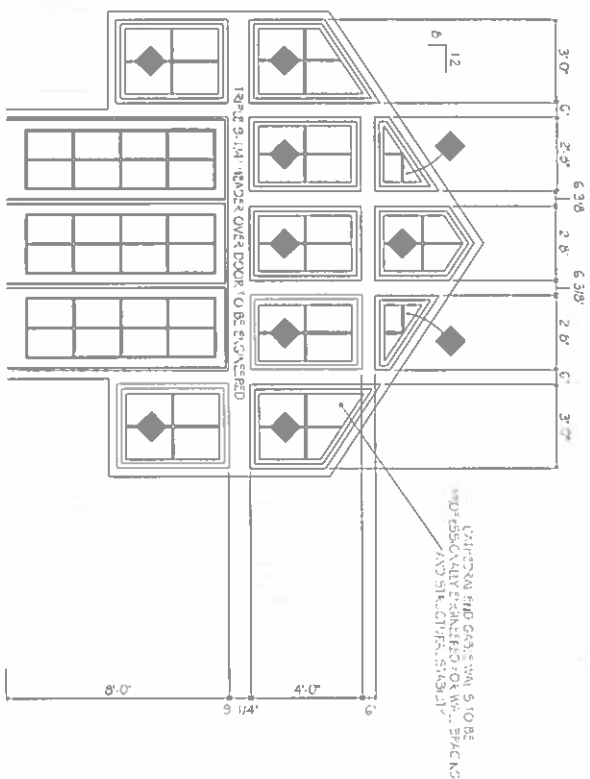
PROJECT DRAWN BY ROBERT F. BODGES JR. E-MAIL: KIM@RFBODGES.COM PHONE: (540) 644-1764	DATE: SCALE: REVISIONS:
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DETAIL SHOWS REAR
CATHEDRAL WALL LAYOUT



DETAIL SHOWS FRONT
CATHEDRAL WALL LAYOUT



PLANS ARE SUGGESTIVE ONLY AND BUILDER MUST CHECK
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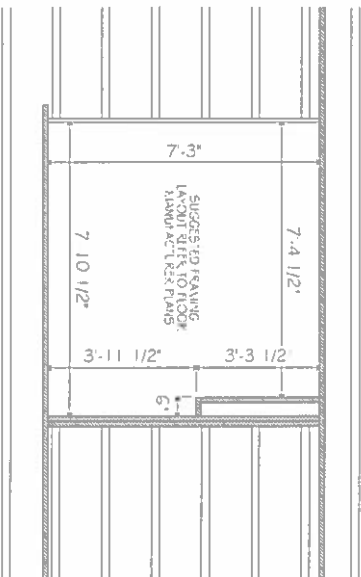
GEARHART - RESIDENCE

FRANKLIN COUNTY, VA

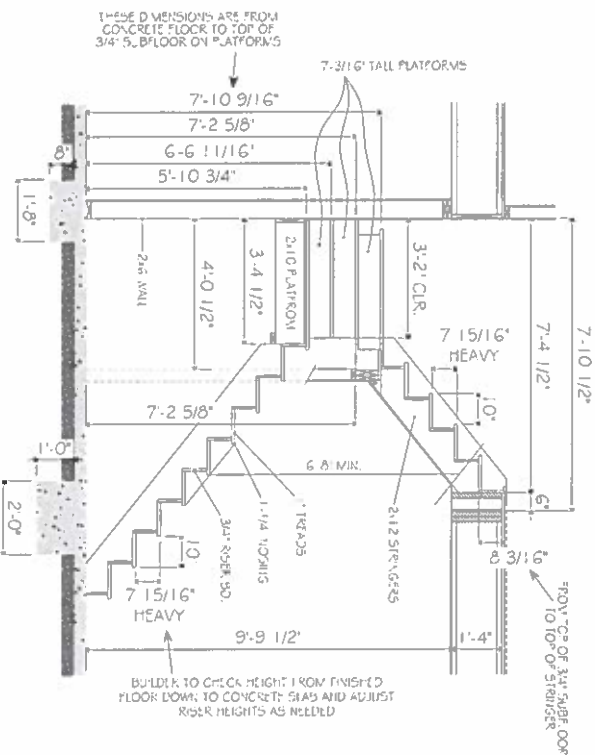
PROJECT DRAWN BY
ROBERT F. HODGES, JR.
EMAIL: KRWLD@GMAIL.COM
PHONE: (540) 446-7767

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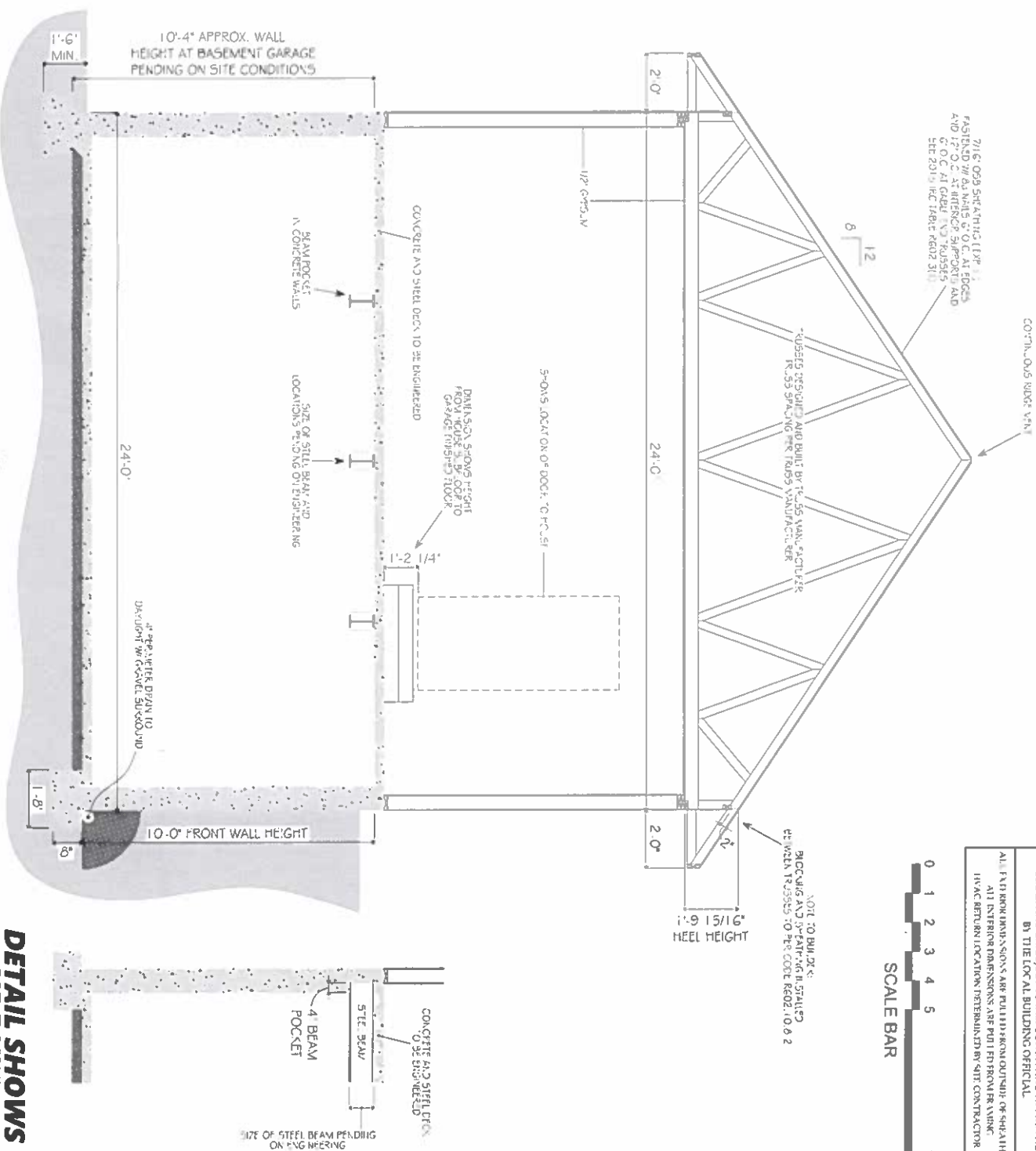




SUGGESTED FLOOR FRAMING LAYOUT



STAIRWAY DETAIL
SCALE 1/2" = 1'-0"



PLANS ARE SUGGESTIVE ONLY AND BUILDER MUST CHECK AND CONFIRM ALL DIMENSIONS ON PLANS. BUILDING MUST BE CONSTRUCTED TO MEET ALL STATE AND LOCAL BUILDING CODES AND IS SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING OFFICIAL.

ALL EXTERIOR DIMENSIONS ARE PLUMB FROM FINISH OF GRADE. ALL INTERIOR DIMENSIONS ARE PLUMB FROM FINISH FLOOR. LOCATION DETERMINED BY SITE CONTRACTOR.

CROSS SECTION
SCALE 1/2" = 1'-0"

DETAIL SHOWS SIDE VIEW OF GARAGE

GEARHART - RESIDENCE
FRANKLIN COUNTY, VA

PROJECT DRAWN BY
ROBERT F. HODGES JR.
E-MAIL: KEW.L.DESIGNS@YAHOO.COM
PHONE: (540) 494-7761

DATE	
SCALE	1/2" = 1'-0"
REVISIONS	
11	SHEET 8

APPROVED

EXHIBIT 4

[illegible]

EXHIBIT 5



April 5, 2022

Robert & Lisa Gearhart
1228 Peters Pike Road
Wirtz, VA 24184

RE: 8.25 Cedarmill HZ10 HardiePlank® Primed Siding installed at Lot 37 Compass Cove Circle,
Moneta, VA 24121

Dear Hardie Customer;

By way of this letter, James Hardie Building Products will warrant the HZ10 Hardie Products installed at the above referenced address (Warranties Enclosed). As stated in the enclosed "Warranty" James Hardie Building Products warrants that the "product" will be free from manufacturing defects. This warranty does not cover damage or defects that may arise from or in any way correlated to installation.

This Limited Warranty extends only to the first retail purchaser of the Product, the first owner of the structure to which the Product is applied and the first transferee where the Product is installed in a commercial or multi-family dwelling.

Should you experience any problems related to the manufacture of your Hardie products, James Hardie Building Products, Inc. will remedy those problems under the normal warranty terms and conditions.

If you have any questions that are warranty related, please feel free to contact us directly at 866-375-8603.

Sincerely,

A handwritten signature in black ink, appearing to read 'N. Phan'.

Nancy Phan
Claims & Warranty Department
James Hardie Building Products

Enclosure: HardiePlank Warranty

James Hardie Building Products, Inc.
Claims & Warranty Department
10901 Elm Avenue, Fontana, CA 92337



Includes: HardiePlank® HZ10® Lap Siding, HardiePanel® HZ10® Vertical Siding, HardieShingle® HZ10® Siding, HardieSoffit® HZ10® Panels

Effective July 2020



1. LIMITED WARRANTY. James Hardie Building Products Inc. ("Hardie") warrants, for a period of thirty (30) years (the "Limited Warranty Period") that when manufactured, the HardiePlank® HZ10® Lap Siding, HardiePanel® HZ10® Vertical Siding, HardieShingle® HZ10® Siding, and HardieSoffit® HZ10® Panels (the "Product") comply with ASTM C1186, will resist damage caused by hail or termite attacks, and is free from defects in material and workmanship. This Limited Warranty extends only to (i) the first retail purchaser of the Product and the first transferee; or (ii) the first owner of the structure to which the Product is applied and the first transferee (each a "Covered Person"), where the Product is installed in an approved HZ10 product zone defined in Section 2.

2. LIMITED WARRANTY COVERAGE AREA. Approved HZ10 product zone shall mean Puerto Rico, and within the United States, the states of AL, AR, FL, GA, HI, LA, MS, OK, TX, SC, as well as limited areas of AZ, CA, KY, NC, NM, NV, OR, TN, VA and WA. For a list of covered ZIP codes in the states of AZ, CA, KY, NC, NM, NV, OR, TN, VA and WA, please consult www.hardiezone.com or call 1-866-9-HARDIE.

3. WHAT WE WILL DO. If during the Limited Warranty Period, the Product is defective in material or workmanship, Hardie will, in its sole discretion, either repair or replace the defective portion of the Product, or, during the first (1st) through the thirtieth (30th) year, reimburse the Covered Person for up to twice the original retail cost of the defective portion of the Product. After the 30th year, this Limited Warranty will expire and shall no longer be applicable. If the original retail cost cannot be established by the Covered Person to Hardie's reasonable satisfaction, the cost shall be determined by Hardie in its sole and reasonable discretion. Hardie's repair or replacement of the defective portion of the Product or reimbursement pursuant to Section 3 of this Limited Warranty is the exclusive remedy for the Covered Person for

any warranty claim under Section 1. Hardie will not reimburse or pay any costs in connection with labor or accessory materials.

4. WHAT YOU MUST DO/CONDITIONS OF LIMITED WARRANTY. Warranty coverage under this Limited Warranty shall be subject to the following terms and conditions:

- a) A Covered Person must provide written notice to Hardie within thirty (30) days after discovery of any claimed defect covered by this Limited Warranty. The notice must describe the location and details of the claimed defect and any additional information necessary for Hardie to investigate the claim. Photos of the Product, showing the claimed defect must accompany the notice. A claimant under this Limited Warranty must provide proof to Hardie that such claimant is a Covered Person as defined in Section 1 above.
- b) The Product must be installed according to Hardie's printed installation instructions and must comply with all building codes adopted by federal, state or local governments or government agencies applicable to the installation.
- c) Upon discovery of a claimed defect, a Covered Person must immediately, and at a Covered Person's own expense, provide for protection of all property that could be affected until the claimed defect is remedied, if applicable. Before any permanent repair to the Product, a Covered Person must allow Hardie or Hardie's authorized agent to enter the property and structure where the Product is installed, if applicable, and examine, photograph and take samples of the Product. Any repairs initiated by or on behalf of a Covered person without prior authorization from Hardie may void the warranty.



Homeowner Care and Maintenance Tips

PATCHING

Fill dents, chips and cracks using a good quality cement patching compound (acrylic mortar patch), which can be found at your local Home Center or Hardware Store.

PRODUCT REPLACEMENT

Replace siding and trim products in accordance with James Hardie's written installation instructions.

CAULK REPLACEMENT

When caulk is in need of replacing, carefully remove existing caulk and replace with a high quality, paintable latex caulk. For best results, use a latex caulk that complies with ASTM D834 or better. Caulking should be applied in accordance with the caulking manufacturer's written application instructions.

PAINT MAINTENANCE

Remove any damaged, chipped or cracked paint. Prior to repainting, make sure that the surface area is properly prepped for paint. Repaint immediately using a good quality 100% acrylic paint. For best results, please refer to your paint manufacturer's written specifications for application rates and required topcoats.

Call 1-800-9-HARDIE or visit www.JamesHardiePros.com to obtain written installation requirements or for more detailed technical information.

5. WHAT IS NOT COVERED. This Limited Warranty does not cover damage or defects resulting from or in any way attributable to: (a) The improper storage, shipping, handling or installation of the Product (including, without limitation, failure of the Product to be installed in strict compliance with the Conditions of Limited Warranty set forth in Section 4(b) of this Limited Warranty) and/or improper installation of studs or other accessories; (b) Further processing, modification or alteration of the Product after shipping from Hardie; (c) Neglect, abuse, or misuse; (d) Repair or alteration inconsistent with Hardie instructions; (e) Settlement or structural movement and/or movement of materials to which the Product is attached; (f) Damage from incorrect design of the structure; (g) Damage resulting from water infiltration; (h) Exceeding the maximum designed wind loads; (i) Acts of God including, but not limited to, tornados, hurricanes, floods, earthquakes, severe weather or other natural phenomena (including, but not limited to, unusual climate conditions); (j) Efflorescence, peeling or performance of any third party paints, stains and/or coatings; (k) Growth of mold, mildew, fungi, bacteria, or any organism on any surface of the Product (whether on the exposed or unexposed surfaces); (l) Lack of proper maintenance; and/or (m) Any cause other than material or manufacturing defects attributable to Hardie.

6. LIMITATION OF WARRANTY. THE ABOVE LIMITED WARRANTY IS THE EXCLUSIVE WARRANTY FOR THE PRODUCT. HARDIE DISCLAIMS ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, INCLUDING ANY IMPLIED WARRANTIES OF MERCHANTABILITY, FITNESS FOR PARTICULAR PURPOSE OR OTHERWISE. In the event that applicable consumer law prohibits the disclaimer of an implied warranty, the above Limited Warranty shall not extend the time period of any such implied warranty. Some states do not allow limitations for consumers on how long an implied warranty lasts, so the above limitation may not apply to you. This Limited Warranty gives you specific legal rights, and you may have additional rights, which vary from state to state.

7. LIMITATION OF LIABILITY. IN NO EVENT SHALL HARDIE BE LIABLE FOR ANY INCIDENTAL, CONSEQUENTIAL OR SPECIAL DAMAGES, INCLUDING BUT NOT LIMITED TO, ANY CLAIMS OF PROPERTY DAMAGE, BASED UPON BREACH OF WARRANTY, BREACH OF CONTRACT, TORT, OR ANY OTHER LEGAL THEORY. Some states do not allow the exclusion or limitation of incidental or consequential damages, so the above limitation may not apply to you.

8. NO WAIVER. Hardie may, in its sole discretion, extend benefits beyond what is covered under this Limited Warranty. Any such extension shall apply only to the specific instance in which it is granted, and shall not constitute a waiver of Hardie's right to strictly enforce the exclusions, disclaimers, and limitations set forth herein for any or all other circumstances.

9. ENTIRE AGREEMENT. This Limited Warranty contains and represents the only warranty extended by Hardie for the Product. No employee or agent of Hardie or any other party is authorized to make any other warranty in addition to those made in this Limited Warranty. This Limited Warranty gives you specific legal rights and you may also have other rights which vary from state to state.

10. MODIFICATION OR DISCONTINUATION OF PRODUCT. Hardie reserves the right to discontinue or modify the Product at any time without notice. In the event that repair or replacement of the Product pursuant to this Limited Warranty is not possible, Hardie will fulfill any repair or replacement obligation under this Limited Warranty with a product of equal or greater value.

11. HOW TO OBTAIN LIMITED WARRANTY SERVICE. For warranty services, call 866-375-8603 or write Warranty Department, James Hardie Building Products, Inc., 10901 Elm Avenue, Fontana, California 92337.

COMPLETE AND SAVE FOR YOUR OWN RECORDS

Name of Owner _____
 Installation Address _____
 Name of Installing Contractor _____
 Date Installed _____ Contractor Phone Number _____



EXHIBIT 6

From: [Craig Caron](#)
Sent: Thursday, October 19, 2023 10:28 PM
To: [Chris Jánosky](#)
Subject: Fw: Gearhart Project - siding discussion 07.13.22

[Sent from AOL on Android](#)

----- Forwarded Message -----

From: "Craig Caron" <ccaronbuilder@aol.com>
To: "Chris Jánosky" <cjanszky@michiehamlett.com>
Sent: Wed, Sep 27, 2023 at 11:25 PM
Subject: Fw: Gearhart Project - siding discussion 07.13.22

[Sent from AOL on Android](#)

----- Forwarded Message -----

From: "Broughton, John" <John.Broughton@franklincountyva.gov>
To: "Lisa Gearhart" <lkgearhart@gmail.com>, "Craig Caron" <ccaronbuilder@aol.com>, "Bob Gearhart" <Robert.gearhart@jamesriverequipment.com>
Sent: Thu, Jul 14, 2022 at 11:16 AM
Subject: RE: Gearhart Project - siding discussion 07.13.22

Lisa,

I concur with all of the items that you have listed and will coordinate with Craig on schedule as needed.

Thank you,

JOHN W BROUGHTON, CBO

Franklin County Building Official

VBCOA/2nd Vice-President



1255 Franklin St. Ste. 103

Rocky Mount, VA 24151

(540) 483-3047 Ext. 2248

John.Broughton@franklincountyva.gov

From: Lisa Gearhart <lkgearhart@gmail.com>
Sent: Thursday, July 14, 2022 10:04 AM
To: Craig Caron <ccaronbuilder@aol.com>; Broughton, John <John.Broughton@franklincountyva.gov>; Bob Gearhart <Robert.gearhart@jamesriverequipment.com>
Subject: Gearhart Project - siding discussion 07.13.22

==== CAUTION: This email is from outside Franklin County Government. Total security is not guaranteed. Remember to use safe practices when using email and other technologies. ====

Thanks for meeting to discuss the issues of the lap siding and house wrap on our new house.

To recap, we discussed the following corrections per manufacturer installation instructions.

1. Z-Flashing 1/4" clearance

2. Water resistive barrier house wrap must be installed where missing. The manufacturer requires that all joints, holes and tears in the barrier be sealed with DRYline Sheathing tape. John will perform pre inspection of house wrap corrections, including all walls where existing siding is removed before replacing with new product. Expecting a row of sheathing tape across each and every row where siding is removed to properly seal the nail penetrations in existing WRB. Alternatively, should the WRB be damaged, replacing with new is an option.



3. Avoid placing butt joints directly above windows or doors at least one course away, ensuring all butt joints land on studs.

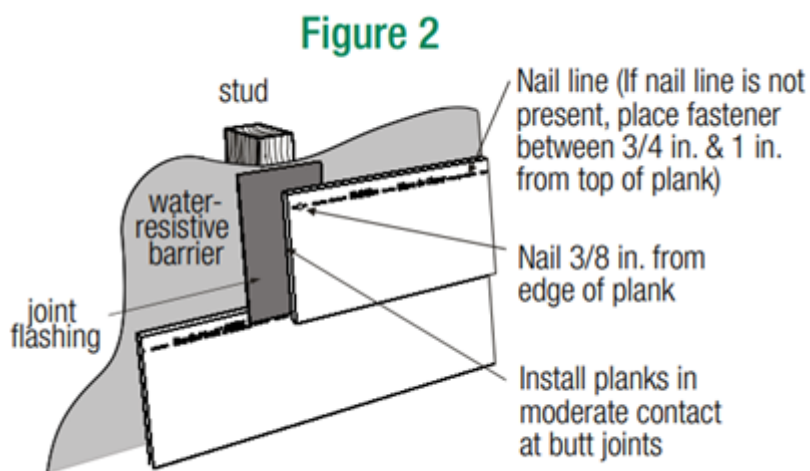
4. Moderate contact butt joints not exceeding 1/8".

5. Per Craig, 8.25 Cedarmill HZ10 HardiePlank® Primed Siding "yellow primed" will be used everywhere and the manufacturer letter to honor warranty dated April 5, 2022 applies despite the HZ5 zoned product which corresponds with 24121. [Our build site Lot 37 Compass Cove Moneta, VA zip code 24121 per manufacturer zones, requires HZ5.](#)

6. The entire wall on right side of house (study room) to receive all new lap siding, in addition to places where improperly installed HZ5 "greenish primed" exists.



7. Fasteners between 3/4" to 1" from top of plank.



James Hardie Installation: <https://www.jameshardiepros.com/getattachment/3db6064b-4ed5-433f-bfe9-caf95a61eee1/hardieplank-hz5-us-en.pdf>

Thank you.

Lisa Gearhart 540-354-5774

Bob Gearhart 540-354-2439

This email has been scanned for spam and viruses. Click [here](#) to report this email as spam.

EXHIBIT 7

INSPECTION WORKSHEET (INSP-213924-2022) FOR FRANKLIN COUNTY

Case Number: RES-06-2021-60354

Case Module: Permit

Inspection Date:

Inspection Status: Partial Pass

Inspector: Trevor Stanley

Inspection Type: Misc

Job Address: 197 Compass Cove Cir
Moneta, VA 24121

Parcel Number: 0481403700

Contact Type

Company Name

Name

Applicant
Contractor
Mechanics Lien
Owner

CRAIG CARON BUILDER
FIRST CHOICE TITLE & SETTLEMENT

CRAIG CARON
CRAIG ANTHONY CARON

LISA K and ROBERT GEARHART

Checklist Item

Results

Comments

Miscellaneous

Pass

7/22/22-TS

Provided second layer of air barrier over original damaged sections. Seams taped and overlapped.

Air barrier okay

EXHIBIT 8

From: [Craig Caron](#)
Sent: Wednesday, September 27, 2023 11:12 PM
To: [Chris Jánosky](#)
Subject: Fw: Gearhart - water entering the basement and lower garage

[Sent from AOL on Android](#)

----- Forwarded Message -----

From: "Lisa Gearhart" <lkgearhart@gmail.com>

To: "Craig Caron" <ccaronbuilder@aol.com>

Sent: Tue, Nov 15, 2022 at 7:57 PM

Subject: Re: Gearhart - water entering the basement and lower garage

Hi Craig,

Thanks for checking and letting us know.

We captured these images at 7pm this evening and water is still entering the basement.

Water is ponding on the right side of the sidewalk in the yard, creating a drainage issue.

We request you resolve the drainage issue in the yard and stop water from entering the basement.





Thank you.

Lisa Gearhart 540-354-5774

Bob Gearhart 540-354-2439

On Tue, Nov 15, 2022 at 5:23 PM Craig Caron <ccaronbuilder@aol.com> wrote:

Lisa,

I looked at your basement this evening. The garage door likely allowed water in because it's not locked with any downward pressure on the seal. Once it's locked, the seal should have enough pressure to keep the water out.

There was not any water on the floor at the back of the garage. I could see water stain on the floor, but none was coming in at this time though it rained all day. I believe water is ponding between the garage apron and foundation. I would suggest putting a gutter drain across the driveway when you get it paved since there is so much water coming at the house. I will bring some dirt down when it dries up to try to prevent the water from ponding in that corner.

[Sent from the all new AOL app for Android](#)

On Sat, Nov 12, 2022 at 11:17 AM, Lisa Gearhart

<lkgearhart@gmail.com> wrote:

Hi Craig,

We are still having water entering the basement and lower garage and would appreciate you letting us know how and when you plan to resolve?

We would like to discuss the proposed solution with you.

Lower garage door images taken 11.11.22



Lower basement where future door separates garage from living area images taken 11.11.22.

Note the drywall is wet at bottom. The image of standing water is on the "right side" of upper yard sidewalk opposite side of where the drain is on "left side" of the sidewalk.



Thank you.

Lisa Gearhart 540-354-5774

Bob Gearhart 540-354-2439

EXHIBIT 9



DEVELOPMENT SERVICES DEPARTMENT OF BUILDING INSPECTIONS

OFFICIAL NOTICE OF VIOLATION

September 5, 2023

Responsible Party: Craig Caron- **dba/** Craig Caron Builders
PO BOX 759
Hardy, VA 24101

Property: 197 Compass Cove, Moneta, VA 24121

Mr. Caron,

County staff have contacted you numerous times regarding the following violations within the Virginia Uniform Statewide Building Code. The following describes the building code violations found at 197 Compass Cove, Moneta, VA 24121 for which you are the responsible party.

DESCRIPTION OF VIOLATIONS

Violation: Exterior Concrete Lap siding is not installed in accordance with manufacturer installation instructions. This installation voids the warranty and is likely to cause further issues.

Applicable Code Section: *2018 Virginia Residential Code-Section R703.10.2 Fiber Cement Lap Siding.* It requires that the siding be installed according to the approved manufacturer's installation instructions.

Corrective Action: Provide evaluation and repair design from manufacturer and repair in accordance with design. . All remedial work must be finished to consider the violation remedied.

CORRECTIVE ACTION REQUIRED

You were notified by e-mail of these violations on multiple occasions, including March 3 and on March 23, 2023. As of the date of this letter, these violations have not been corrected.

According to the Virginia Uniform Statewide Building Code, Section 36-106 of the Code of Virginia and Section 5-22 Franklin County Ordinance any violation shall be deemed a misdemeanor and any owner or any other person, firm or corporation convicted of such a **violation shall be punished by a fine of not more than \$2,500.**

The determination by the Building Official is that you are in violation of the Virginia Uniform Statewide Building Code. Failure to perform the corrective actions described above within 30 days of this notice may result in legal action being taken against you.

If you wish to contest this determination, you must file a written request for appeal to the Local Board of Building Appeals by submitting an application, the basis for your appeal, and a copy of this violation notice within thirty (30) days of the date on this notice to the Office of the Building Official. Failure to submit the written appeal within thirty (30) days shall

constitute acceptance of this decision and notice of violation.

If you have questions about the violation or the required corrective action, please contact our office at 540-483-3047 ext. 2248.

Thank you for your prompt attention to this matter.



JOHN W BROUGHTON, CBO
Franklin County Building Official
VBCOA/1st Vice-President



Franklin County

1255 Franklin St. Ste. 103
Rocky Mount, VA 24151
(540) 483-3047 Ext. 2248
John.Broughton@franklincountyva.gov

Right to Appeal: *VUSBC Section 119.5- Any person aggrieved by the Franklin County Building Department's application of the VUSBC or the refusal to grant a modification to the provisions of the VUSBC may appeal to the Local Board of Building Code Appeals. An applicant shall submit a written request for appeal to the LBBCA within 30 calendar days of the receipt of the decision being appealed. The application shall contain the name and address of the owner of the building structure and in addition, the name of and address of the person appealing, when the applicant is not the owner. Failure to submit the appeal of the building official's decision within the 30-day time limit shall constitute acceptance of the building official's decision.*



DEVELOPMENT SERVICES DEPARTMENT OF BUILDING INSPECTIONS

OFFICIAL NOTICE OF VIOLATION

September 5, 2023

Responsible Party: Craig Caron- **dba/** Craig Caron Builders
PO BOX 759
Hardy, VA 24101

Property: 197 Compass Cove, Moneta, VA 24121

Mr. Caron,

County staff have contacted you numerous times regarding the following violations within the Virginia Uniform Statewide Building Code. The following describes the building code violations found at 197 Compass Cove, Moneta, VA 24121 for which you are the responsible party.

DESCRIPTION OF VIOLATION

Violation: Basement garage/workshop floor cracked, materially more significant than a natural hair-line crack. Slab is consistently less than the required 3-1/2" thickness

Applicable Code Section: *Section R506 Concrete Floors (On Ground)* of the 2018 Virginia Construction Code.

Corrective Action: Provide intended repair solutions for the correction of the concrete floor for approval or provide an engineered evaluation and corrective action. All remedial work must be finished to consider the violation remedied.

Violation: Floor Trusses are damaged and incorrectly installed per manufacturer installation requirements. This has been verified by manufacturer representative (David Jones).

CORRECTIVE ACTION REQUIRED

You were notified by e-mail of these violations on multiple occasions, including March 3 and on March 23, 2023. As of the date of this letter, these violations have not been corrected.

According to the Virginia Uniform Statewide Building Code, Section 36-106 of the Code of Virginia and Section 5-22 Franklin County Ordinance any violation shall be deemed a misdemeanor and any owner or any other person, firm or corporation convicted of such a **violation shall be punished by a fine of not more than \$2,500.**

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DEVELOPMENT SERVICES DEPARTMENT OF BUILDING INSPECTIONS

OFFICIAL NOTICE OF VIOLATION

September 5, 2023

Responsible Party: Craig Caron- **dba/** Craig Caron Builders
PO BOX 759
Hardy, VA 24101

Property: 197 Compass Cove, Moneta, VA 24121

Mr. Caron,

County staff have contacted you numerous times regarding the following violations within the Virginia Uniform Statewide Building Code. The following describes the building code violations found at 197 Compass Cove, Moneta, VA 24121 for which you are the responsible party.

DESCRIPTION OF VIOLATIONS

Violation: Floor Trusses are damaged and incorrectly installed per manufacturer installation requirements. This has been verified by manufacturer representative (David Jones).

Applicable Code Section: *Virginia Construction Code: VUSBC Section 112.* "Damage to regulated building components Caused by violations of this code or by the use of faulty materials or installations shall be subject to the applicable provisions of Section 115."

Corrective Action: Provide truss evaluation and repair design from manufacturer and repair in accordance with design. All remedial work must be finished to consider the violation remedied.

CORRECTIVE ACTION REQUIRED

You were notified by e-mail of these violations on multiple occasions, including March 3 and on March 23, 2023. As of the date of this letter, these violations have not been corrected.

According to the Virginia Uniform Statewide Building Code, Section 36-106 of the Code of Virginia and Section 5-22 Franklin County Ordinance any violation shall be deemed a misdemeanor and any owner or any other person, firm or corporation convicted of such a **violation shall be punished by a fine of not more than \$2,500.**

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JOHN W BROUGHTON, CBO
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VBCOA/1st Vice-President



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Rocky Mount, VA 24151
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DEVELOPMENT SERVICES DEPARTMENT OF BUILDING INSPECTIONS

OFFICIAL NOTICE OF VIOLATION

September 5, 2023

Responsible Party: Craig Caron- **dba/** Craig Caron Builders
PO BOX 759
Hardy, VA 24101

Property: 197 Compass Cove, Moneta, VA 24121

Mr. Caron,

County staff have contacted you numerous times regarding the following violations within the Virginia Uniform Statewide Building Code. The following describes the building code violations found at 197 Compass Cove, Moneta, VA 24121 for which you are the responsible party.

DESCRIPTION OF VIOLATION

Violation: Foundation leaking in two locations.

Applicable Code Sections: *Section R406.1 Concrete and Masonry foundation damp proofing and Section R406.2 Concrete and masonry foundation Waterproofing* of the 2018 Virginia Construction Code.

Corrective Action: These two locations shall be made watertight. If the soil and/or water table are extreme, foundation water proofing is required.

CORRECTIVE ACTION REQUIRED

You were notified by e-mail of these violations on multiple occasions, including March 3 and on March 23, 2023. As of the date of this letter, these violations have not been corrected.

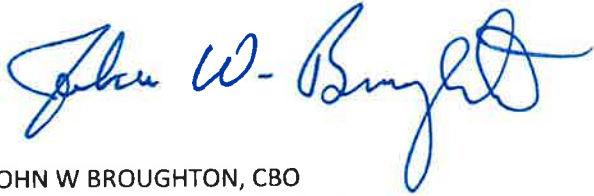
According to the Virginia Uniform Statewide Building Code, Section 36-106 of the Code of Virginia and Section 5-22 Franklin County Ordinance any violation shall be deemed a misdemeanor and any owner or any other person, firm or corporation convicted of such a **violation shall be punished by a fine of not more than \$2,500.**

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JOHN W BROUGHTON, CBO
Franklin County Building Official
VBCOA/1st Vice-President



Franklin County

1255 Franklin St. Ste. 103
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EXHIBIT 10

Certificate of Occupancy

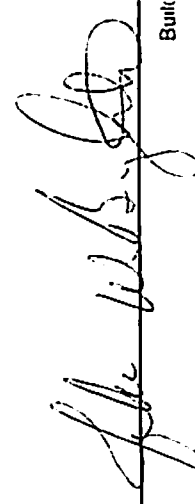
Building Inspections Department


This certificate issued pursuant to the requirements of the Virginia Statewide Building Code certifying that at the time of issuance this structure was in compliance with the various ordinances of the jurisdiction regulating building construction or use. For the following:

Description	3 BEDROOM SINGLE FAMILY DWELLING WITH GARAGE		
Owner	LISA K and ROBERT GEARHART		
Contractor	CRAIG CARON BUILDER		
Permit No.	RES-06-2021-60354	Map/Tax #	0481403700
Permit Type	Residential Building	Subdivision	COMPASS COVE
Work Class	Single Family (Home)	Lot:	LOT 27
# Bedrooms	3		
USBC Ref	2015 Edition		
Construction Type	5B	Group/Occupancy	Group R-5
Sprinkler Required	No	Sprinkler Provided	No

911 Address

197 COMPASS COVE CIR
MONETA, VA 24121

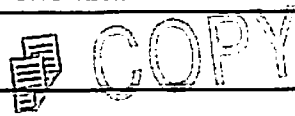

Building Official
CO Issue Date: 11/10/2022


Franklin County

Temporary Certificate of Occupancy

Franklin County
Department of Code Enforcement
Building Inspection


This certificate issued pursuant to the requirements of the International Building Code certifying that at the time of issuance this structure was in compliance with the various ordinances of the jurisdiction regulating building construction or use. For the following:

Permit Type	Residential Building	Permit No.	RES-06-2021-60354
Workclass	Single Family (Home)	Date Issued	07/01/2021
Owner	LISA K and ROBERT GEARHART		
Project	Robert Gearhart	Map/Tax #	0481403700
Subdivision	COMPASS COVE	Contractor	CRAIG CARON BUILDER

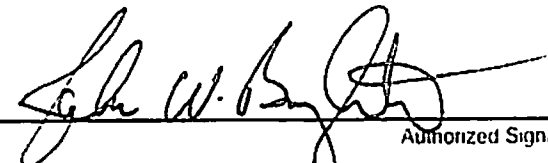
197 COMPASS COVE CIR
MONETA, VA 24121

Property Location

Temp CO Expiration Date 11-25-22


Franklin County

A Division of Building and Department


Authorized Signature
Temp CO Issue Date: 10-25-22

Franklin County

35 Franklin Street, Suite 103
Rocky Mount, VA 24151
Phone (540)483-3047 Fax: (540)483-6665

Permit NO. **RES-06-2021-60354**

Permit Type: Residential Building
Work Classification: Single Family (Home)
Permit Status: Active

Issue Date: 7/1/2021

Expiration: 07/03/2023

Owner Information LISA K and ROBERT GEARHART	Address 1228 PETERS PIKE ROAD WIRTZ, VA 24184	Phone 5403545774	Cell 5403545774
Project Address 197 COMPASS COVE CIR MONETA, VA 24121	Zoning R1	Parcel Number 0481403700	Applicant CRAIG CARON
	District Gills Creek	Lot/Tract/Section # COMPASS COVE	Subdivision COMPASS COVE

Directions: 122N, R616, L COMPASS COVE, JUST BEFORE BERNARDS LAND, TAKE LEFT AT STOP SIGN, LOT 37 ON RIGHT

Mechanics Lien Agent FIRST CHOICE TITLE & SETTLEMENT	Address 86 BUILDERS PRIDE RD HARDY, VA 24101	Phone 5402044160	Fax
--	---	----------------------------	------------

Type of Construction	Use Group	Code	Year
Req. Setback Front 30	Req. Setback Rear 20	Req. Setback Right 12	Prop. Setback Left 12

Description of Work: 3 BEDROOM SINGLE FAMILY DWELLING WITH GARAGE 6-28-22 renewed file, info same	Valuation: \$55,500.00	Inspection Requests: (540) 483-3047
	Total Sq Feet: 5,068	

Contractor(s)	Address	Phone	Cell	Contractor Type
CRAIG CARON BUILDER	P O BOX 759 HARDY VA 24101	(540)871-0848		Building

Number of Stories: 1	Exterior Wall Type:
Basement Status: N/A	Foundation Type: Basement

Fees Due	Amount
Land Use Fee	\$35.00
Plan Review Fee	\$91.00
Single Family Site-Built Fee	\$912.00
State Surcharge	\$20.00
Total:	\$1,058.00

Paytype	Amt Paid
Total Fees	\$1,058.00
Check # 7491	\$1,058.00
Amount Due:	\$0.00

Inspection Type:	IVR
Temporary Final	
GPS Points	101
Drain tile/Water Proofing	104
Energy/Air Barrier	105
Footing Exterior Piers	114
Footing Interior	116
Footing Interior Piers	117
Footing Perimeter	118
Foundation	120
Framing	121
Insulation	124
Pre-Slab	127
Rough-In Gas	132
Rough-In Electrical	310
Temporary Power	325
Permanent Power	330
Rough-In Mechanical	410
Rough-In Plumbing	510
Underslab Plumbing	520
Misc	800
E&S Control	950
Final	998

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

Craig Caron
Name (Owner / Applicant / Contractor / Agent) Authorized Signature Date July 06, 2022

Franklin County Building Department Authorized Signature Date July 06, 2022

Office Copy



Franklin County

Natural Setting for Opportunity

1255 Franklin Street, Suite 103

Rocky Mount, VA 24151

Phone: (540)483-3047 Fax: (540)483-6665

Permit NO. **RES-06-2021-60354**

Permit Type: **Residential Building**

Work Classification: **Single Family (Home)**

Permit Status: **Active**

Issue Date: **7/1/2021**

Expiration: **07/03/2023**

Owner Information LISA K and ROBERT GEARHART	Address 1228 PETERS PIKE ROAD WIRTZ, VA 24184	Phone 5403545774	Cell 5403545774
Project Address 197 COMPASS COVE CIR MONETA, VA 24121	Zoning R1	Parcel Number 0481403700	Applicant CRAIG CARON
	District Gills Creek	Lot/Tract/Section # COMPASS COVE	Subdivision COMPASS COVE

Directions: 122N, R616, L COMPASS COVE, JUST BEFORE BERNARDS LAND, TAKE LEFT AT STOP SIGN, LOT 37 ON RIGHT

Mechanics Lien Agent FIRST CHOICE TITLE & SETTLEMENT	Address 86 BUILDERS PRIDE RD HARDY, VA 24101	Phone 5402044160	Fax
--	---	----------------------------	------------

Type of Construction	Use Group	Code	Year
Req. Setback Front 30	Req. Setback Rear 20	Req. Setback Right 12	Prop. Setback Left 12

Description of Work: 3 BEDROOM SINGLE FAMILY DWELLING WITH GARAGE 6-28-22 renewed file, info same

Valuation: \$55,500.00

Total Sq Feet: 5,068

Inspection Requests:

(540) 483-3047

Available Inspections:

Contractor(s)	Address	Phone	Cell	Contractor Type
CRAIG CARON BUILDER	P O BOX 759 HARDY VA 24101	(540)871-0848		Building

Inspection Type:	NR
Temporary Final	
GPS Points	101
Drain tile/Water Proofing	104
Energy/Air Barrier	105
Footing Exterior Piers	114
Footing Interior	118
Footing Interior Piers	117
Footing Perimeter	118
Foundation	120
Framing	121
Insulation	124
Pre-Slab	127
Rough-In Gas	132
Rough-In Electrical	310
Temporary Power	325
Permanent Power	330
Rough-In Mechanical	410
Rough-In Plumbing	510
Underslab Plumbing	520
Misc	800
E&S Control	950
Final	999

Number of Stories: 1
Basement Status: N/A
Exterior Wall Type:
Foundation Type: Basement

Fees Due	Amount
Land Use Fee	\$35.00
Plan Review Fee	\$91.00
Single Family Site-Built Fee	\$912.00
State Surcharge	\$20.00
Total:	\$1,058.00

Paytype	Amt Paid
Total Fees	\$1,058.00
Check # 7491	\$1,058.00
Amount Due:	\$0.00

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Print Name (Owner / Applicant / Contractor / Agent) Renewed by owner **June 28, 2022**

Authorized Signature

Date

Franklin County Building Department

Authorized Signature

June 28, 2022

Date

Office Copy

Tuesday, June 28, 2022

Angle, Kathy

From: Craig Caron <ccaronbuilder@aol.com>
Sent: Tuesday, June 28, 2022 8:34 AM
To: Angle, Kathy
Subject: Permit #60354, Gearhart

==== CAUTION: This email is from outside Franklin County Government. Total security is not guaranteed. Remember to use safe practices when using email and other technologies. ====

Kathy,

As discussed, please renew the permit for Gearhart, #60354. All information stays the same and we should be ready for a final inspection within the next 30 days.

Thanks,
Craig

Sent from the all new AOL app for Android

Franklin County

1255 Franklin Street, Suite 103
Rocky Mount, VA 24151
Phone: (540)483-3047 Fax: (540)483-6665

Permit NO. **RES-06-2021-60354**
Permit Type: **Residential Building**
Work Classification: **Single Family (Home)**
Permit Status: **Active**

Issue Date: **7/1/2021**

Expiration: **07/01/2022**

Owner Information LISA K and ROBERT GEARHART	Address 1228 PETERS PIKE ROAD WIRTZ, VA 24184	Phone 5403545774	Cell 5403545774
Project Address	Zoning R1	Parcel Number 0481403700	Applicant CRAIG CARON
	District Gills Creek	Lot/Tract/Section # COMPASS COVE	Subdivision COMPASS COVE

Directions: 122N, R616, L COMPASS COVE, JUST BEFORE BERNARDS LAND, TAKE LEFT AT STOP SIGN, LOT 37 ON RIGHT

Mechanics Lien Agent FIRST CHOICE TITLE	Address 86 BUILDERS PRIDE RD HARDY, VA 24101	Phone 5402044160	Fax
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Type of Construction	Use Group	Code	Year
Req. Setback Front 30	Req. Setback Rear 20	Req. Setback Right 12	Prop. Setback Left 12

Description of Work: 3 BEDROOM SINGLE FAMILY DWELLING WITH GARAGE	Valuation: \$ 55,500.00	Inspection Requests: (540) 483-3047
	Total Sq Feet: 5,068	

Contractor(s)	Address	Phone	Cell	Contractor Type
CRAIG CARON BUILDER	P O BOX 759 HARDY VA 24101	(540)871-0848		Building

Number of Stories: 1	Exterior Wall Type:
Basement Status: N/A	Foundation Type: Basement

Fees Due	Amount
Land Use Fee	\$35.00
Plan Review Fee	\$91.00
Single Family Site-Built Fee	\$912.00
State Surcharge	\$20.00
Total:	\$1,058.00

Paytype	Amt Paid
Total Fees	\$1,058.00
Check # 7491	\$1,058.00
Amount Due:	\$0.00

Inspection Type	IVR
Temporary Final	
GPS Points	101
Drain tile Water Proofing	104
Energy/Air Barrier	105
Footing Exterior Piers	114
Footing Interior	116
Footing Interior Piers	117
Footing Perimeter	118
Foundation	120
Framing	121
Insulation	124
Pre-Slab	127
Rough-In Gas	132
Rough-In Electrical	310
Temporary Power	325
Permanent Power	330
Rough-In Mechanical	410
Rough-In Plumbing	510
Under-slab Plumbing	520
Misc	800
E&S Control	950
Final	998

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Print Name (Owner / Applicant / Contractor / Agent) Nicole Caron Authorized Signature Nicole M. Caron Date July 01, 2021

Franklin County Building Department BAM Authorized Signature Date July 01, 2021

Office Copy

Thursday, July 1, 2021



Parcel ID	0481403700
Map Number	04814
Parcel Number	03700
Owner	GEAR-487, JIA-5400000
Owner Address	1022 PETERSON BLVD
City	LA BEE
State	TX
Zip Code	77843
Physical Address	
Legal Description 1	COMPASS COLE
Legal Description 2	LOT 17
Zoning	R1
District	G LCO CREER
Acres	0.48
Land Value	\$200,000.00
Building Value	\$10,000.00
Assessed Total	\$210,000.00
Land Use Value	\$0.00
Grantor	BRANCH BANK & TRUST COMPANY
Consideration	\$95,000.00
Consideration Date	01/24/2012 10:11 AM
Instrument No	2012
Subdivision	COMPASS COLE
Deed Book	1010
Deed Page	229
Plat Book	211
Plat Page	160
Property Card	1010121



Franklin County

Development Services Application

Date: 06-13-21

1. Please identify the property on which the proposed activity will occur:

Tax ID number: 0481403700

Street address: _____

City, State, Zip: _____

Other means of description: Lot 37 Compass Cove

2. Please identify who the applicant is:

☐ Owner ☐ Tenant ☒ General Contractor

☐ Design Professional - (Architect / Engineer / Etc.)

Other: _____

3. Please identify the owner(s) of the subject property:

Owner's name: Bob & Lisa Gearhart

Mailing address: 1228 Peters Pike Rd.

City, State, Zip: Wirtz, Va 24184

Phone: 540-354-5774 Fax: _____

Email: lkgearhart@gmail.com

4. If the applicant is not the owner, please provide the following:

Applicant's name: Craig Caron

Mailing address: PO Box 759

City, State, Zip: Hardy, Va 24101

Phone: 540-871-8848 Fax: _____

Email: ccaronbuilder@aol.com

Please check the box by all permit types, listed below, required for your project.

- 1 ☒ Building - Needed to build a new structure, add to, alter, or demolish an existing structure, perform any electrical, plumbing, HVAC work, install a sign, pool, retaining wall, tower, antenna, storage tank, amusement device or elevator.
- 2 ☒ Land Use - Needed for any structure to be built or placed on a property.
How much land will you be disturbing? 2,800 ft²
- 3 ☐ Erosion & Sediment Control - Needed if disturbing 10,000ft.² up to 1 acre of land on a property not within 200ft. of any state waterway or if disturbing 3,000ft.² or more on a property where land disturbance is within 200ft. of any state waterway.
- 4 ☐ Storm Water - Future requirement

Description of Work:

New Single family stick built home

Directions to the property:

122 N to (R) Scruggs Rd to (L) Compass Cove Dr. to (L) Compass Cove Circle, Lot on (R)

I hereby certify that the proposed work is authorized by the owner(s) of record and that I have been authorized by the owner(s) to make this application as an authorized agent and I agree to conform to all statutes and regulations identified on the back of this document.

Signature of Property Owner
Or Authorized Agent

Printed Name of Property Owner
Or Authorized Agent

1255 Franklin Street, Suite 103, Rocky Mount, Virginia, 24151, (540) 483-3047



Development Services Application

Please identify all applicable statutes & regulations by checking the appropriate box(es)



I hereby certify that I am the owner of record of the herein described property, or that the proposed work has been authorized by the owner of record and that I have been authorized to make this application as a designated agent. I agree to conform to all applicable state and local regulations, rules and policies and such shall be deemed a condition entering into the exercise of the permit. In addition, if a permit is issued, I certify that the code official or his authorized representative shall have the authority to enter the area(s) described herein at any reasonable hour for the purpose of enforcing the provisions of the applicable code(s). I affirm that the information given in this application is correct at the time of submittal. I recognize any changes to the information given in this application require written notification to Franklin County Development Services.



Property ownership, as verified through Franklin County Real Estate Tax Records, will reflect the permit holder. If the permit is to be issued in another name, a signed letter from the existing property owner(s) giving permission for the specific structure on the property is required. The Real Estate Tax Identification number, subdivision name and lot number (if applicable) for the property is to be included in this letter. This statement is to be signed and dated by all property owner(s).



I realize that NO OCCUPANCY can be made until all final inspections are completed, approved and a CERTIFICATE OF OCCUPANCY has been obtained. I understand that if I occupy, or allow occupancy, in any manner, I am not in compliance with the "Virginia Uniform Statewide Building Code" and hereby I am giving permission for the Franklin County Inspections Department to have my electric meter disconnected and removed. *Manufactured HUD homes may be occupied for up to 60 days



I am requesting and approving authorization to be notified of inspection results by phone and/or e-mail.

Phone: _____ Email: ccaronbuilder@aol.com



I am requesting Mechanics Lien agent be added to this permit.

Business Name: First Choice Title Phone: 540-204-4160

Business Address: 86 Builder Pride Dr.

City: Hardy State: Va Zip Code: 24101



I am acting as Self-Contractor, have fully completed the Development Services Self Affidavit form, and affirm that I am familiar with the prerequisites of Section 54.1-1111 of the Code of Virginia and I am not subject to licensure as a contractor or subcontractor. I realize that I am liable to ensure all contractors and or subcontractors performing more than \$1000.00 work on my project are licensed by the State Board of Contractors in accordance with the Code of Virginia Section 54.1-1115. Failure to do so constitutes the commission of a Class 1 misdemeanor.

1255 Franklin Street, Suite 103, Rocky Mount, Virginia, 24151, (540) 483-3047



Development Services Application

Building Permit #:

1
60354

Please provide all contractor information below:

☐

Owner Exempt - Self Affidavit Required

Electrical
Contractor:

Company Name: TL Electric

Contact Person: Tony Lloyd

Contact Number: 540-871-1160

General
Contractor:

Company Name: Craig Caron Builder

License Number: 2705096626A

Contact Person: Craig

Contact Number: 540-871-0948

HVAC
Contractor:

Company Name: Condiss Heating

Contact Person: Tim Hart

Contact Number: 540-537-5818

Plumbing
Contractor:

Company Name: Ricky Martin Ent

Contact Person: Ricky

Contact Number: 540-529-0536

Other
Contractor:
(Type)

Company Name: Condiss Heating

Contact Person: Tim Hart

Contact Number: 540-537-5818

Please check the box by all statements listed below that apply to your project

☒

Residential (1&2 Family Dwellings)

or

☐

Non-Residential (including apartments, condos)

☐ Accessory Structure / Deck / Dock

☐ Additions

☐ Alterations

☐ Sign

☐

Miscellaneous

☐ Tank Removal: _____

☐ Demolition

☐ Retaining Wall _____ height(ft.)

☐ Plumbing

☐ Electrical

☐ Mechanical

☐ Other: _____

☐ New Structure (excluding 1&2 family dwellings)

☒ New Single Family Dwellings (Including Modular)

☐ New Multi-Family Dwellings (Duplex / Townhouses)

☐ New Manufactured / Mobile Home (HUD) Dwellings

☐ Single-wide ☐ Double-wide ☐ Triple-wide

(size / fuel type / above or below ground)

☐ Above Ground Swimming Pool / Hot Tub

☐ Below Ground Swimming Pool / Hot Tub

Please provide the following sizes associated with this project

First Floor: 2042 ft² Second Floor: _____ ft² Third Floor: _____ ft²

Finished Basement: _____ ft² Unfinished Basement: 2042 ft² Porch(es): 408 ft²

Patio(s): _____ ft² Deck(s) / Dock(s): _____ ft² Carport(s): _____ ft²

Garage(s): 576 ft² Finished Garage Loft(s): _____ ft² Unfinished Garage Loft(s): _____ ft²

Total: _____ ft²

1255 Franklin Street, Suite 102, Rocky Mount, Virginia 22151 (540) 488-8037

(over)



Development Services Application

Please provide the following general information for the proposed project

Dollar value of any new structures or additions: \$ _____ Dollar value of any interior alterations: \$ _____

Dollar value of entire project: \$ 555,000 (excluding additions if constructed)

Number of Bedrooms: 3 Number of Bathrooms: 2 Number of Half Bathrooms: 1

Total Number of Rooms: 6 Total Number of Stories: 1 (above grade)

Foundation Material: ☒ Concrete ☐ Block ☐ ICF ☐ Other: _____
Foundation Type: ☒ Basement ☐ Crawlspace ☐ Slab ☐ Column / Pier ☐ Other: _____
Heating Source: ☒ Gas ☐ Oil ☒ Electric ☐ Hot Water ☐ Other: _____
☒ Heat Pump
Fireplaces: ☒ Number: 1 ☐ Masonry ☒ Metal
Flues: ☐ Number: _____ ☐ Masonry ☐ Metal
Gas Appliances: ☒ Number: 2
Retaining Walls: ☐ Number Attached: _____ ☐ Number Detached: _____

Please provide the following HUD related information if applicable

Model Year: _____ Manufacturer: _____ Model: _____ Color: _____

Size: _____ (length x width) Previous Owner: _____ New Owner: _____

New Owner Address: _____ New Owner Phone Number: _____

Skirting: ☐ Vinyl ☐ Block ☐ Brick ☐ Metal ☐ Rock ☐ Other: _____

Please provide the following electrical information if applicable

☒ New Service ☐ Upgrade ☐ Reconnection # Amps: 400 AEP work order #: _____ (Temporary Power)

Call AEP @ 1-800-956-4237 to apply for a work order number and electric service AEP work order #: _____ (Permanent Power)

Please provide the following water & sewer information if applicable

Water Source ☐ Individual / Private ☒ Municipal / Public

Sewage ☒ Individual / Private ☐ Municipal / Public

Will a fire sprinkler system be installed? ☐ Yes ☒ No

1255 Franklin Street, Suite 103, Rocky Mount, Virginia, 24151, (540) 483-9047



Franklin County

Development Services Application

2

Land Use Permit

Please provide the following information

Current Land Use: ☒ Vacant ☐ Agricultural ☐ Residential ☐ Commercial ☐ Industrial ☐ Other

If land disturbance is required, please specify by checking the box that best describes how vegetative waste will be managed below.
☒ Open Burned ☐ Mulched ☐ Off Site Landfill

If off site landfill, please identify location: _____

Will there be land disturbance within 200' of any waterways? ☒ Yes ☐ No

Will there be land disturbance below the 800' contour (SILL)? ☐ Yes ☒ No

Is the subject property within 500 feet of the 795' water level on Smith Mountain Lake? ☒ Yes ☐ No

Are there any existing homes on the subject property? ☐ Yes ☒ No If YES, how many? _____

How much road frontage does the property have? 139 feet according to GLS

Is the property on a primary, secondary, or private road? ☐ Primary ☒ Secondary ☐ Private

Is property a corner lot facing two (2) different road? ☐ Yes ☒ No

Proposed Structure

Front Setback from Center of Road 55 ft

Front Setback from Edge of Right-of-Way 30 ft

Rear Setback from rear property line 100 ft

Right Setback from side property line 15 ft

Left Setback from side property line 15 ft

If property is a corner lot, please place the setback information below.

Front Setback from Center of Road _____ ft

Front Setback from Edge of Right-of-Way _____ ft

Detached Garage

Front Setback from Center of Road _____ ft

Front Setback from Edge of Right-of-way _____ ft

Rear Setback from rear property line _____ ft

Right Setback from side property line _____ ft

Left Setback from side property line _____ ft

(All setbacks are measured from the closest point of the proposed structure to the property line.)

Height of Building 21 ft

Zoning of Subject Property R-1

VTHP
setbacks of for
the purpose of
a single family
home

1255 Franklin Street, Suite 103, Rocky Mount, Virginia, 24151. (540) 483-3047

(over)

Franklin County Health Department
365 Pell Ave., 249
Rocky Mount, Virginia 24151
(540) 484-0292 Voice

Permit # 60354

AOSE Construction Permit

Well and Sewage Contractors: Please notify Health Department and OSE or PE 48 hours prior to installation to arrange for inspection

May 26, 2021

Robert & Lisa Gearhart
1228 Peters Pike Road
Wirtz, VA 24184

RE: Compass Cove Circle, Moneta VA 24121
Subdivision: Compass cove Sec: N/A Blk: N/A Lot: 37 Acres: 0.48
Tax Map/Parcel #: 0481403700
IIDID: 133 21 0211 (133 03 0361)
System Capacity: Residential, 3 Bedroom, 450 Gallons per Day

Dear Robert & Lisa Gearhart:

This letter and the attached drawings, specifications, and calculations (8 pages) dated 03-30-2021 and 4-27-21 constitute your permit to install a sewage disposal system on the property referenced above. Your application for a permit was submitted pursuant to §32.1-163.5 of the Code of Virginia, which requires the Health Department to accept private soil evaluations and designs from an Onsite Soil Evaluator (OSE) or a Professional Engineer working in consultation with an OSE for residential development. VDH is not required to perform a field check to verify the private evaluations of OSEs or PEs and such a field check may not have been conducted for the issuance of this permit.

The soil absorption area ("site") and sewage system design were certified by Chris Frith, Private AOSE and Marty Prillaman, P. E. as substantially complying with the Board of Health's regulations (and local ordinances if the locality has authorized the local health department to accept private evaluations for compliance with local ordinances). This permit is issued in reliance upon that certification. VDH hereby recognizes that the soil and site conditions acknowledged by this permit are suitable for the installation of an onsite sewage system. The attached plat shows the approved area for the sewage disposal system; there are additional records on file with the Franklin County Health Department pertaining to this permit, including the Site and Soil Evaluation Report. This construction permit is null and void if any substantial physical change in the soil or site conditions occurs where a sewage disposal system is to be located.

If modifications or revisions are necessary between now and when you construct your dwelling, please contact the OSE/PE who performed the evaluation and design on which this permit is based. Should revisions be necessary during construction, your contractor should consult with the OSE/PE that submitted the site evaluation or site evaluation and design. The OSE/PE is authorized to make minor adjustments in the location or design of the system at the time of construction provided adequate documentation is provided to the Franklin County Health Department.

The OSE/PE that submitted the certified design for this permit is required to conduct a final inspection of this sewage system when it is installed and to submit an inspection report and completion statement. As the owner, you are responsible for giving reasonable notice to the OSE/PE of the need for a final inspection. If the designer is unable to perform the required inspection, you may provide an inspection report and completion statement executed by another OSE/PE.

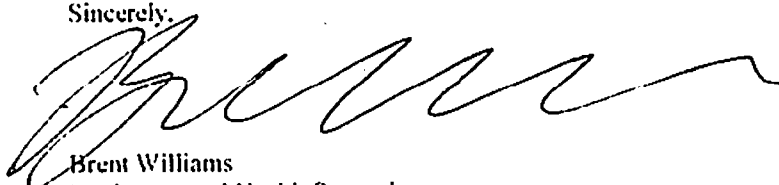
The Franklin County Health Department is not required to inspect the installation but may perform an inspection at its sole discretion. No part of this installation shall be covered until it has been inspected by the OSE/PE as noted herein. The sewage system may not be placed into operation until you have obtained an Operation Permit from the Franklin County Health Department.

This Construction Permit is null and void if conditions are changed from those shown on your application or if conditions are changed from those shown on the Site and Soil Evaluation Report and the attached construction drawings, specifications, and calculations. VDH may revoke or modify any permit if, at a later date, it finds that the site and soil conditions and/or design do not substantially comply with the Sewage Handling and Disposal Regulations, 12 VAC 5-610-20 et seq., or if the system would threaten public health or the environment.

This permit approval has been issued in accordance with applicable regulations based on the information and materials provided at the time of application. There may be other local, state, or federal laws or regulations that apply to the proposed construction of this onsite sewage system. The owner is responsible at all times for complying with all applicable local, state, and federal laws and regulations. If you have any questions, please contact me.

This permit expires: 11-27-2022. This permit is not transferable to another owner or location.

Sincerely,



Brent Williams
Environmental Health Supervisor
Franklin County Health Department

CC: Marty Prillaman, P. E.
Chris Frith, Private AOSE

Commonwealth of Virginia

Application for: ☒ Sewage System ☐ Water Supply

VDH Use only
Health Department ID# 133-21-0211
Due Date _____

Owner Robert & Lisa Gearhart

Phone (540) 354-2439

Mailing Address 1228 Peters Pike Road

Phone _____

Wirtz, VA. 24184

Fax _____

Agent Christopher S. Frith

Phone (540) 597-0330

Mailing Address 2767 Wagon Trail Road

Phone _____

Ridgeway, VA. 24148

Fax _____

Site Address Compass Cove Circle

Email lkgearhart@gmail.com

Moneta, VA. 24121

Directions to Property: 40 East, L-Rt. 122, R-Rt. 616, L-Compass Cove Dr., L-Compass Cove Circle, to lot on the right

Subdivision Compass Cove Section _____ Block _____ Lot 37

Tax Map 0481403700 Other Property Identification _____ Dimension/Acreage of Property 0.48

Sewage System

Type of Approval: Applicants for new construction are advised to apply for a certification letter to determine if land is suitable for a sewage system and to apply for a construction permit (valid for 18 months) only when ready to build.

☐ Certification Letter ☐ Construction Permit ☐ Voluntary Upgrade ☐ Repair Permit ☒ Minor Modification

Proposed Use:

Single Family Home (Number of Bedrooms 3) Multi-Family Dwelling (Total Number of Bedrooms _____)

Other (describe) _____

Basement? ☒ Yes ☐ No

Walk-out Basement? ☒ Yes ☐ No

Fixtures in Basement? ☒ Yes ☐ No

Conditional permit desired? ☐ Yes ☒ No

If yes, which conditions do you want?

☐ Reduced water flow ☐ Limited Occupancy ☐ Intermittent or seasonal use ☐ Temporary use not to exceed 1 year

Do you wish to apply for a betterment loan eligibility letter? ☐ Yes ☒ No *There is a \$50 fee for determination of eligibility.

Water Supply

Will the water supply be ☒ Public or ☐ Private?

Is the water supply ☒ Existing or ☐ Proposed?

If proposed, is this a replacement well? ☐ Yes ☒ No

If yes, will the old well be abandoned? ☐ Yes ☒ No

Will any buildings within 50' of the proposed well be termite treated? ☐ Yes ☒ No

Well Type (e.g. domestic use, agricultural, irrigation, etc.) Existing Community Supply

All Applicants

Is this property intended to serve as your (owners) principal place of residence? ☒ Yes ☐ No

All applications must be accompanied by private sector evaluations and designs, unless a petition for VDH services is approved. Is a Petition for Service form attached? ☐ Yes ☒ No

In order for VDH to process your application for a sewage system you must attach a plat of the property and a site sketch. For water supplies, a plat of the property is recommended and a site sketch is required. The site sketch should show your property lines, actual and/or proposed buildings and the desired location of your well and/or sewage system. When the site evaluation is conducted the property lines, building location and the proposed well and sewage sites must be clearly marked and the property sufficiently visible to see the topography. I give permission to the Virginia Department of Health to enter onto the property described during normal business hours for the purpose of processing this application and to perform quality assurance checks of evaluations and designs certified by a private sector Onsite Soil Evaluator or Professional Engineer as necessary until the sewage disposal system and/or private water supply has been constructed and approved.

Signature of Owner/Agent _____

3/30/2021

Date

This form contains personal information subject to disclosure under the Freedom of Information Act. Revised 7/1/2019

OSE/PE Report For:

Construction
PermitRepair
PermitVoluntary Upgrade
PermitCertification
LetterSubdivision
Approval

Property Location:

911 Address: Compass Cove Circle City: Moneta
 Lot 37 Section _____ Subdivision Compass Cove
 GPIN or Tax Map # 0481403700 Health Dept ID # _____
 Latitude _____ Longitude _____

Applicant or Client Mailing Address:

Name: Robert & Lisa Gearhart
 Street: 1228 Peters Pike Road
 City: Wirtz State VA. Zip Code 24184

Prepared by:

OSE Name Christopher S. Frith License # 1940001328
 Address 2767 Wagon Trail Road
 City Ridgeway State VA. Zip Code 24148
 PE Name _____ License # _____
 Address _____
 City _____ State _____ Zip Code _____

Date of Report 3/30/2021 Date of Revision #1 _____
 OSE/PE Job # _____ Date of Revision #2 _____

Contents/Index of this report (e.g., Site Evaluation Summary, Soil Profile Descriptions, Site Sketch, Abbreviated Design, etc.)

APPLICATION

- (1) OSE/PE Report
 (2) Plat/Site Sketch

- (3) System Specifications
 (4) Abbreviated Design
 (5) Owner/Contractor Specifications

Certification Statement

I hereby certify that the evaluations and/or designs contained herein were conducted in accordance with the applicable provisions of the Sewage Handling and Disposal Regulations (12 VACS-610), the Private Well Regulations (12 VACS-630), the Regulations for Alternative Onsite Sewage Systems (12VACS-613) and all other applicable laws, regulations and policies implemented by the Virginia Department of Health. I further certify that I currently possess any professional license required by the laws and regulations of the Commonwealth that have been duly issued by the applicable agency charged with licensure to perform the work contained herein. The potential for both conventional and alternative onsite sewage systems has been discussed with the owner/applicant.

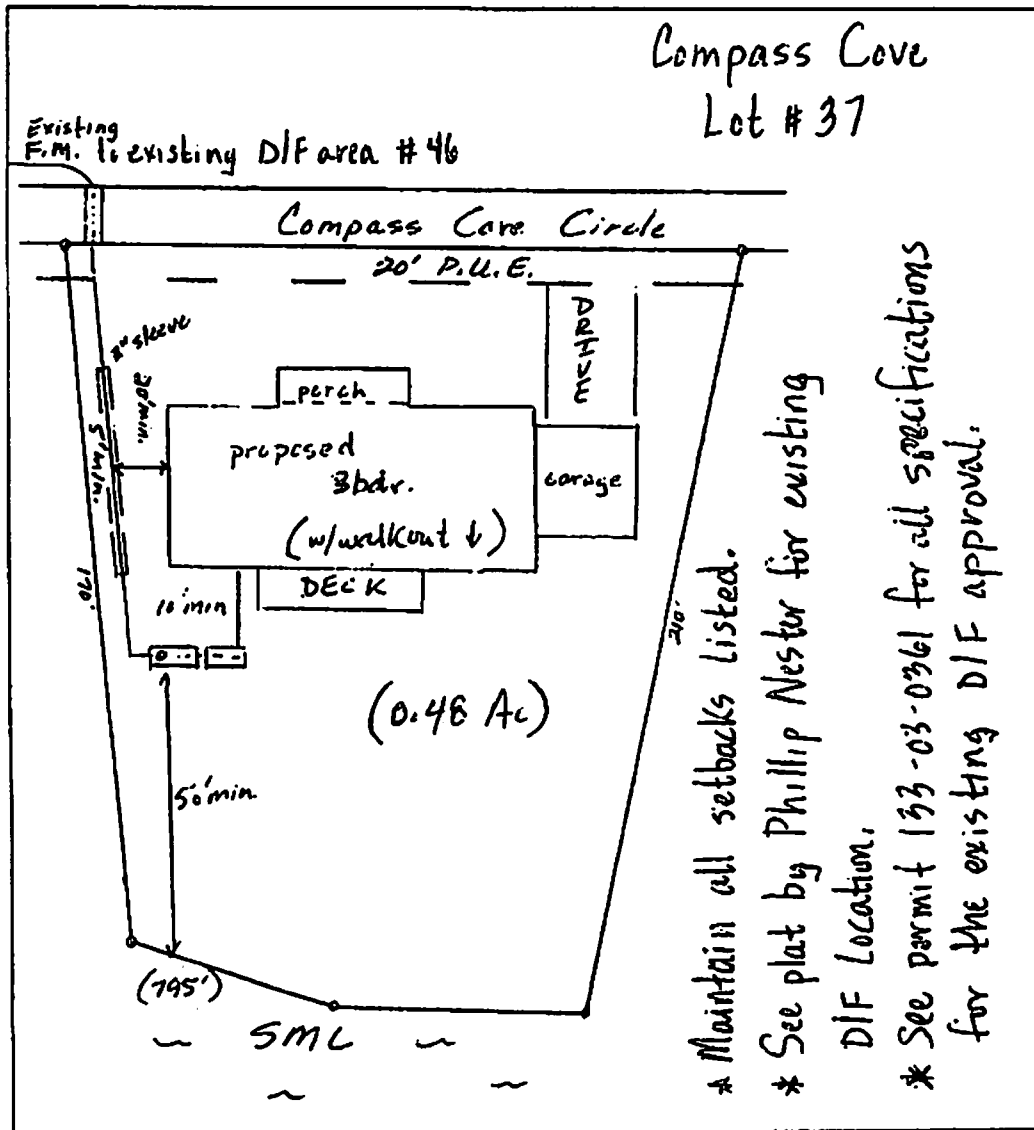
☒ The work attached to this cover page has been conducted under an exemption to the practice of engineering, specifically the exemption in Code of Virginia Section 54.1-402.A.11

I recommend that a (select one): construction permit ☒ certification letter ☐ subdivision approval ☐ be (select one) Issued ☒
 repair permit ☐ voluntary upgrade ☐ Denied ☐

OSE/PE Signature cc fl Date 3/30/2021

Construction Drawings

Property ID: 0481403700



Schematic drawing of sewage disposal system and topographic features. Show the lot lines of the building lot and building site, sketch of property showing any topographic features which may impact on the design of the system, all existing and/or proposed structures including sewage disposal systems and wells within 200 feet of sewage disposal system and reserve area. The scale drawing of the sewage disposal system shall show sewer lines, pretreatment unit, pump station, conveyance system, and subsurface soil absorption system, reserve area, etc. When a nonpublic drinking water supply is to be located on the same lot, show all sources of pollution within 200 feet.

System SpecificationsVDH Use Only
HDIN: _____

Application Information	
Name: <u>Robert & Lisa Goehart</u>	Address: <u>1228 Peters Pkwy Road</u>
Phone: <u>(540) 354-2439</u>	<u>Wirtz, VA. 24148</u>
Location Information	
Tax Map/GPIN #: <u>0481403700</u>	Property Address: <u>Compass Cove Circle Moneta, VA. 24121</u>
Subdivision: <u>Compass Cove</u>	Section: _____ Block: _____ Lot: <u>37</u>
Directions: <u>40 East, L-Rt 122, R-Rt 818, L-Compass Cove Dr., L-Compass Cove Circle, to lot on the right</u>	
General Information	
Property Type (e.g. residential): <u>residential</u>	Number of Bedrooms: <u>3</u>
Daily Flow: <u>450</u> gpd	Conditions: _____
Notes: _____	
Sewer Line	
Diameter: <u>3-4</u> in. Material: <u>Sch. 40 PVC</u>	(or equivalent) Notes: _____
Pretreatment Unit(s)	
Treatment Level: <u>Primary</u>	Septic Tank Capacity: <u>1000</u> gallons
Number of Septic Tanks <u>2</u>	Size of Septic Tank(s) <u>1000</u> gallons
Per the Sewage Handling and Disposal Regulations, check which option(s) chosen:	
<input checked="" type="checkbox"/> Septic tank with inspection port <input type="checkbox"/> Septic tank with effluent filter <input type="checkbox"/> Reduced maintenance septic tank	
Secondary treatment device(s), if applicable: _____	
Notes: <u>2nd tank is the pump chamber</u>	
Conveyance Line	Distribution Method and Header Lines
Conveyance Method: <u>Pump</u>	Distribution Method: <u>Distribution Box - Existing</u>
If pumping, include pump specifications sheet.	No. of boxes: <u>1</u> No. of outlets: <u>10</u>
Material: <u>Pressure Pipe</u> Diameter: <u>2"</u>	Surge or splitter box required: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Notes: <u>See P.E. Plans</u>	Header Line Material: <u>4" 1600lb. crush strength - Existing</u>
Percolation Lines/Absorption Area	
Dispersal Method (e.g. laterals, pad, mound): <u>Laterals - Existing</u>	
If using pressure dispersal (e.g. drip), include pressure dispersal specifications sheet.	
No. of laterals/pads: <u>6</u>	Length of lateral(s)/pad(s): <u>65</u> ft. Width of lateral(s)/pad(s): <u>36</u> in.
Center to center spacing: <u>10</u> ft.	Installation depth: <u>54</u> in. Aggregate depth: <u>13</u> in.
Size/Type of Aggregate: <u>0.5 - 1.5" crushed stone</u>	Lateral/pad slope: <u>2-4</u> in. per <u>100</u> ft.
Reserve Area Provided: <u>N/A</u> %	Notes: <u>***Drainfield is Existing, See H.D.I.D. # 133-03-0361***</u>
Please Note: _____	

Appendix 6
Abbreviated Design FormLot#37

For use with gravity and pump drainfields, enhanced flow systems and low pressure distribution systems when applying for a certification letter or subdivision approval.

Design Basis

- A. Estimated Percolation Rate 40
- B. Trench bottom square feet required per bedroom
Table 5.4 based on ☒ Gravity ☐ LPD 314
- C. Number of bedrooms **EXISTING DRAINFIELD** 3

Area Calculations

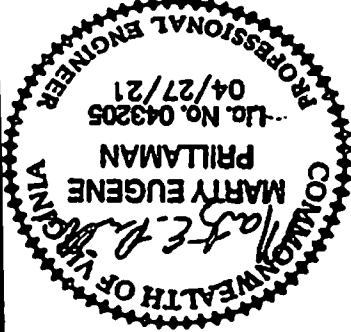
- D. Length of trench 65' Length of available area 65'
- E. Width of trench 3'
- F. Number of trenches 5
- G. Center-to-center spacing 10'
- H. Width required 43' Width of available area 43'
 $G(F-1) + E$
- I. Total square footage required (line B times line C) 942
- J. Square footage in design (D*E*F) 975
- K. Is a reserve area required? ☐ Yes ☒ No
50%

NOTICE TO ALL CONTRACTORS & PROPERTY OWNERS:

- All Federal Law & State Regulations must be followed when installing this system. Installation must follow OSHA Guidelines.
 - **IT IS THE OWNER'S RESPONSIBILITY TO HIRE A DPOR Licensed installer contractor that is required through ALL construction.**
 - **DO NOT INSTALL DRAINFIELD's or provide clearing services during periods of wet soil conditions.** DPOR system installers should review state health regulation 12 VAC 5-610-700 Site Preparation & Alteration to determine suitability prior to installation. Divert all roof drains & surface water away from the Septic Tank(s) & D/F area.
 - Original grade of the property altered may result in null & void of previous approval to install a sewage disposal system. See Sewage Disposal System location & all specifications.
 - Garbage disposals or water softeners are **NOT** recommended for onsite sewage disposal systems. These can cause a premature failure of the sewage disposal system.
 - Land Clearing resulting in a major change of topography determined by the AOSE could result in a Null & Void of a previously approved site. All hydrophilic trees & shrubs should be removed in & within 10'min. of the D/F area.
 - Driveway(s) that cross the drainfield area are required to be paved, avoid the distribution box.
 - Maintain the proper setback distance with driveways and structures off the drainfield and reserve areas.
 - All private Well's are to be drilled prior to Drainfield installation. Otherwise subject to an additional \$300 inspection fee
 - **ALL FINAL INSPECTIONS OF DRAINFIELDS REQUIRE 72 hrs. NOTICE (business days)**
 - All Sewage Disposal Systems are required to be inspected at the time of install and all trenches are to be left open for inspection prior to covering or the existing permit of approval can be deemed **NULL & VOID or REVOKED.**
 - The Completion Statement for a Sewage Disposal System will not be **RELEASED** until **FULL PAYMENT** is received.
 - **ANY** site or soil conditions of this property that change **CAN** Null & Void the Permit of approval.
 - **ANY GRAVEL-LESS** proposals must be approved by Christopher S. Frith, AOSE (1940001328) prior to being installed.
 - It is the owner's and contractor's responsibility to ensure that the private well, sewage disposal system, and reserve area are designed & installed on the applicant's property and do not interfere with P.U.E.'s and Easements of any kind. The Owner/Agent accepts **ALL** liability for property line locations as identified unless the property is marked by a new survey in the field at the time of the site evaluation.
-

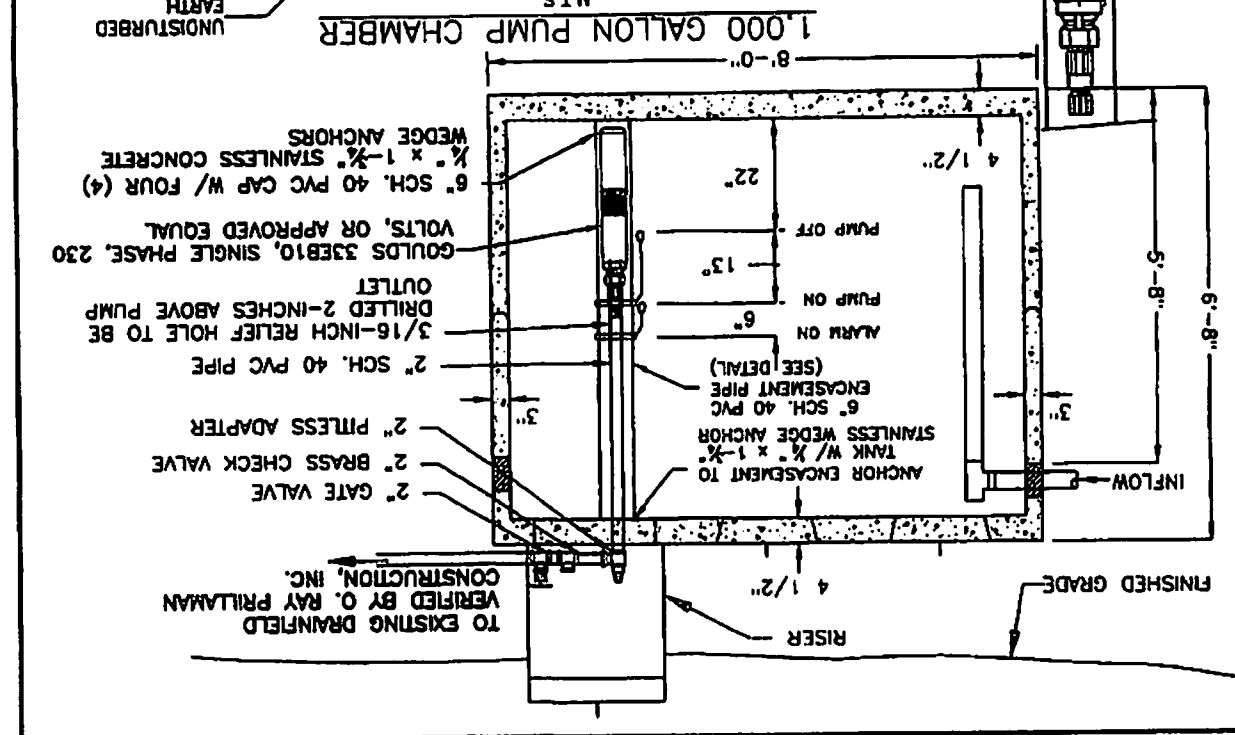
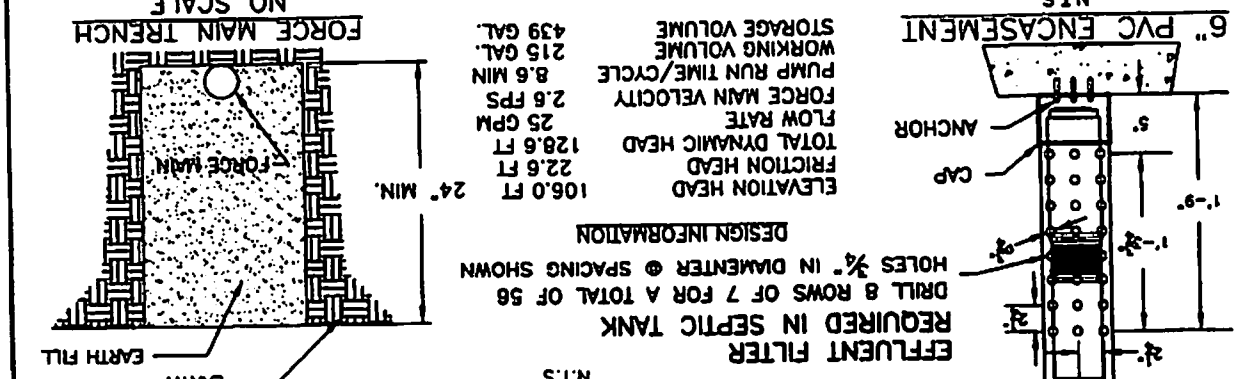
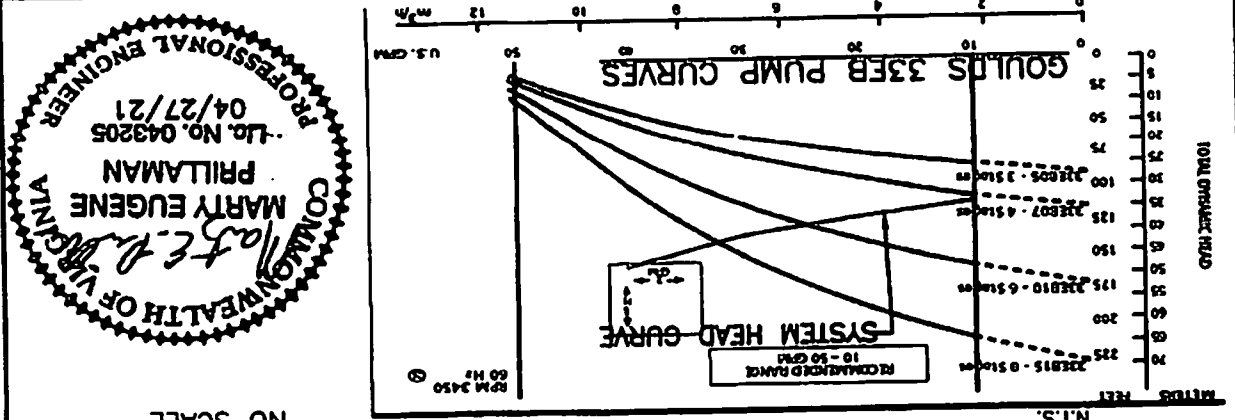
GENERAL NOTES AND SPECIFICATIONS

1. INSTALL CENTRIFUGAL AS SIMPLEX WASTEWATER CONTROL PANEL WITH CENTRIFUGAL A4-2 AUDIO/VISUAL ALARM INSIDE BUILDING. CENTRIFUGAL A2 SERIES FLOAT SWITCHES SHALL BE INSTALLED TO OPERATE PUMP AND ALARM. PROVIDE SEPARATE ELECTRICAL CIRCUIT FOR THE ALARM. INSTALL A PHYSICAL DISCONNECT SWITCH ON THE BUILDING WITHIN SIGHT OF THE PUMP CHAMBER. OUTDOOR CONTROL PANELS AND ALARMS SHALL USE NEMA 4 ENCLOSURE.
2. INSTALL COULDS BLASTER FILTERED EFFLUENT PUMP, 33EB10, SINGLE PHASE, 230 VOLTS, OR APPROVED EQUAL. USE 10 AWG (UF) UNDERGROUND CABLE FOR PUMP. INSTALL EFFLUENT FILTER IN THE SEPTIC TANK.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE COMMONWEALTH OF VIRGINIA STATE BOARD OF HEALTH SEWAGE HANDLING AND DISPOSAL REGULATIONS AND STATE WATER CONTROL BOARD SEWAGE COLLECTION AND TREATMENT REGULATIONS.
4. SEPTIC TANKS, DISTRIBUTION BOXES, DRAINFIELDS, FORCE MAINS, GRAVITY MAINS, AND CONVEYANCE LINES MUST BE LOCATED A MINIMUM OF 5- FEET FROM PROPERTY LINES, 10- FEET FROM BUILDING FOUNDATIONS, 20- FEET FROM BASEMENTS, AND 50- FEET FROM ANY WATER COURSE.
5. MAINTAIN 100- FEET SEPARATION BETWEEN DRAINFIELD AND ANY CLASS III C WELL AND 50- FEET FROM AN CLASS IIIB WELL. SEPTIC TANKS SHALL BE LOCATED A MINIMUM OF 50- FEET FROM ALL WELLS.
6. DRAINFIELD LINES ARE LOCATED OFF- SITE AND ARE EXISTING. DRAINFIELD WAS INSTALLED BY O. RAY PRILLAMAN CONSTRUCTION, INC IN 2004.
7. CONTRACTOR SHALL ADHERE TO ALL OSHA REGULATIONS FOR DEEP TRENCH INSTALLATION.
8. SEWAGE SYSTEM DESIGN BASED ON DIMENSIONS OF PRE- CAST TANKS AS MANUFACTURED BY C.T. JAMISON SEPTIC TANKS, INC. (540-483-5944). IF ALTERNATE TANKS ARE USED, THE CONTRACTOR SHALL CONTACT THE ENGINEER WITH ACTUAL DIMENSIONS.
9. GARBAGE DISPOSALS SHALL NOT DISCHARGE TO THIS ON- SITE SEPTIC SYSTEM.
10. CONTRACTOR SHALL CONTACT MISS UTILITY (1-800-552-7001) 72 HOURS PRIOR TO CONSTRUCTION TO VERIFY LOCATIONS OF EXISTING UTILITIES.
11. DRAINFIELD EASEMENT MUST BE LOCATED BY A LICENSED SURVEYOR PRIOR TO CONSTRUCTION.
12. REMOVE ALL HYDROPHYLIC PLANTS WITHIN 10- FEET OF TANKS AND/OR DRAINFIELD AREA.



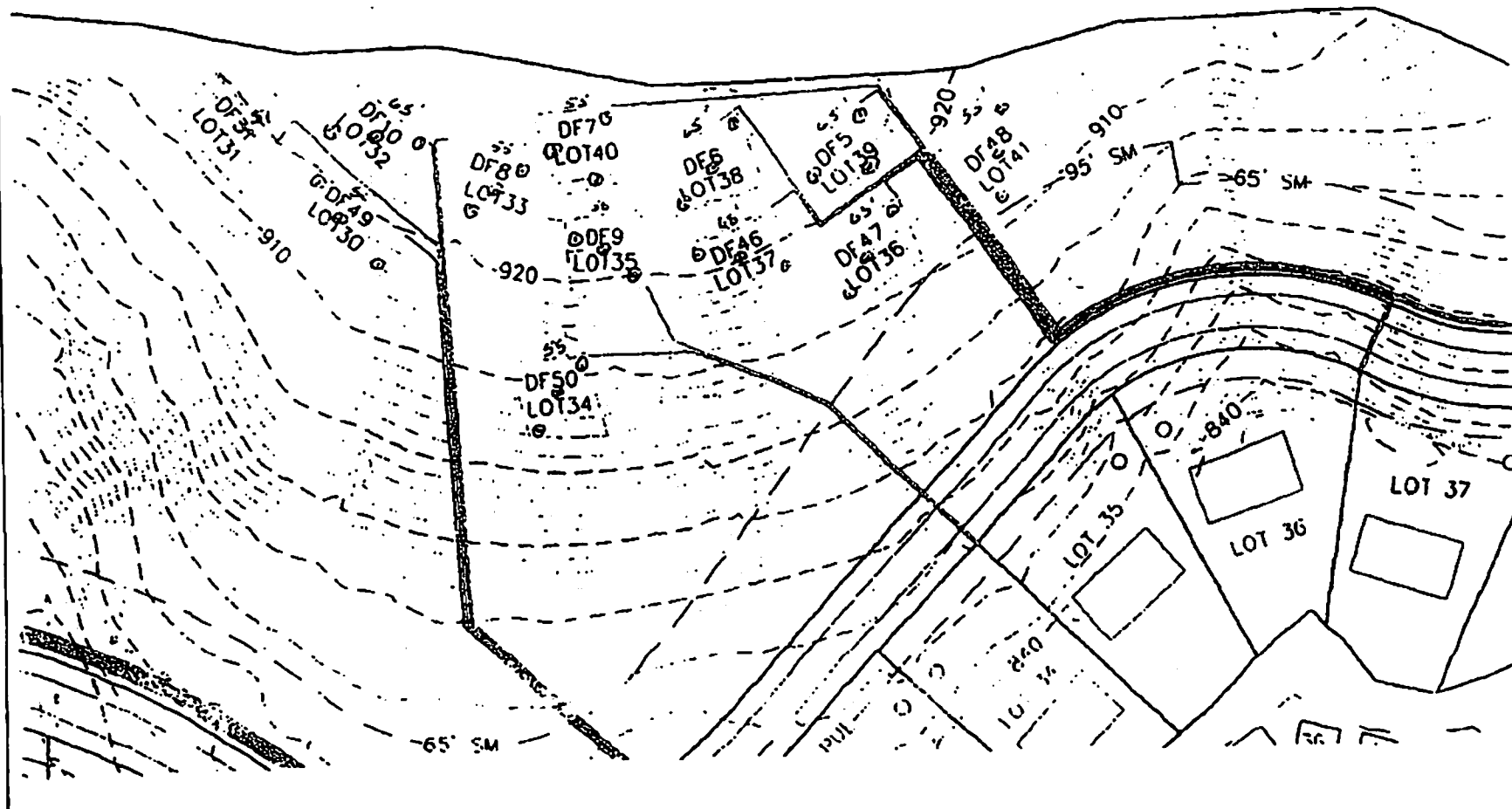
Project: Liso Gearhart Date: 04/27/21	Description: EFFLUENT PUMPING SYSTEM General Notes	O. Ray Prillaman Construction P.O. Box 689 Rocky Mount, VA 24151 (540) 483-9452
Designed By: MEP Sheet Number:		

Project: Lisa Georhart Date: 04/27/21		O. Ray Prillaman Construction P.O. Box 689 Rocky Mount, VA 24151 (540) 483-9452
Description: EFFLUENT PUMPING SYSTEM Pump Details		Designed By: MEP Sheet Number:



COMMONWEALTH OF VIRGINIA
 PROFESSIONAL ENGINEER
 MARTY EUGENE PRILLAMAN
 License No. 043205
 Date: 04/27/21

FRANKLIN REAL ESTATE
D.B. 177 PG. 25:
TAX: 48-19
ZONED: A-1



Completion Statement

Commonwealth of Virginia
State Department of Health

Health Department

Identification Number: 133-03-0361

Franklin Co. Health Department

Name of Company/Corporation/Individual: O. Ray Prillaman

Address: _____

Telephone: 540-263-0777

Property Owner's Name: Windstar Properties

Property Owner's Address: 170 Virginia Key Dr. Union Hall, VA 24176

Location of Installation: Subdivision: Compass Cove Section: — Block: — Lot: 37

Property Address: _____

I hereby certify that the onsite sewage disposal system has been installed and completed in accordance with the construction permit issued (date) 4-9-03 and is in compliance with Part V (12VAC5-610-660 et seq.) of the Sewage Handling and Disposal Regulations and when appropriate the plans and specifications for the project.

6-10-2004

Date

[Signature] 1944001206

Signature and License Number

60354

Franklin County Health Department
365 Pell Avenue, 249
Rocky Mount, Virginia 24151
(540) 484-0292 Voice
(540) 483-1485 Fax

Sewage Disposal System Operation Permit

Property Owner

Robert & Lisa Gearhart
1228 Peters Pike Road
Wirtz, VA 24184

Health Dept. ID: 133 21 0211 (133 03 0361)
Tax Map/Parcel #: 0481403700
Locality: Franklin County

Property Location

Property Address: 197 Compass Cove Circle, Moneta, Virginia 24121
Subdivision: Compass Cove Section: N/A
Lot: 37 Acres: 0.48

Robert & Lisa Gearhart are hereby granted permission to operate a Residential Onsite Sewage System at the above referenced location, under the following parameters:

Daily Flow: 450 Gallons/Day
Number of Bedrooms: 3 Bedrooms
Occupancy Limit: 6 Persons Maximum

This permit is issued in accordance with the provisions of Title 32.1, Chapter 6 of the Code of Virginia as Amended, and Section 12VAC 5-610-340 of the Sewage Handling and Disposal Regulations of the Virginia Department of Health. The issuance of an operation permit does not denote or imply any guarantee by the department that the sewage disposal system will function for any specified period of time. It shall be the responsibility of the owner or any subsequent owner to maintain, repair, or replace any sewage disposal system that ceases to operate in accordance with the regulations.

10-20-2022
Effective Date

Zane Lineberry
Environmental Health Specialist

Zane Lineberry
Signature

Angle, Kathy

60354

From: Craig Caron <ccaronbuilder@aol.com>
Sent: Tuesday, June 29, 2021 4:21 PM
To: Angle, Kathy
Subject: Fw: Gearhart Compass Cove lot 37 Water Auth
Attachments: WaterAuthCC37.pdf; WaterAuthReceiptGearhart2.png; WaterAuthReceiptGearhart.png

==== CAUTION: This email is from outside Franklin County Government. Total security is not guaranteed. Remember to use safe practices when using email and other technologies. ====

Kathy,
See attached information regarding Lot 37, Compass Cove, owned by Bob & Lisa Gearhart, from Western Virginia Water Authority. The owners already have water service on the lot and pay a monthly water fee. This should satisfy your question about water hookup.

Craig

Sent from the all new AOL app for Android

----- Forwarded Message -----

From: "Lisa Gearhart" <lkgearhart@gmail.com>
To: "Craig Caron" <ccaronbuilder@aol.com>, "Bob Gearhart" <Robert.gearhart@jamesriverequipment.com>
Sent: Mon, Jun 28, 2021 at 10:02 PM
Subject: Gearhart Compass Cove lot 37 Water Auth
Hi Craig,
Hope all is good your way!
PFA which verifies our water hookup is paid and we are billed regularly from Water Authority and in good standing.

Thank you.
Lisa Gearhart
540-354-5774

Western Virginia Water Authority
601 S Jefferson Street
Roanoke VA 24011



WATER AUTHORITY

August 14, 2020

LISA GEARHART
1228 PETERS PIKE RD
WIRTZ, VA 24184-3931

Located at : 601 S Jefferson Street
Roanoke, VA 24011
Contact Us : info@westernvawater.org
540.853.5700
Business Hours : 8:00 am to 5:00 pm
Monday thru Friday
Emergency After Hours : 540.853 5700
On the web at www.westernvawater.org

Service Address: 0 COMPASS COVE LOT 37
Account Number: 199797-566208

Dear LISA GEARHART,

The Western Virginia Water Authority (Authority) performed a review of all accounts currently being billed either an annual or monthly availability fees rate and want to communicate important information related to these rates

Your property was billed for availability fees by the previous owner of the water system and was therefore grandfathered into the Authority rates at the time the Authority purchased the system. As such, this rate only applies to you, the owner of the property at the time the water system transferred to the Authority. Should you decide to sell the property, it is important to let the new property owner know they will be responsible for paying the Authority's full availability fee.

Should you have questions about your account or the information conveyed in this letter please contact Customer Service in person at our downtown Roanoke office, by email at info@westernvawater.org, or by phone at 540.853.5700 from 8am – 5pm Monday-Friday.

It is our pleasure to serve you. We appreciate your business.

Sincerely,

Léana Stoltz
Chief Operating Officer – Customer Operations
Western Virginia Water Authority

[illegible]

[illegible]

Inspection Type	Inspection Status	Primary Inspector	Scheduled Start .
Framing	Passed	Stanley, Trevor	11/10/2022
Insulation	Passed	Stanley, Trevor	11/10/2022
Final	Passed	Stanley, Trevor	11/10/2022
Final	Failed	Stanley, Trevor	10/11/2022
Temporary Final	Passed	Stanley, Trevor	10/11/2022
Final	Failed	Stanley, Trevor	09/13/2022
Misc	Partial Pass	Stanley, Trevor	07/22/2022
Permanent Power	Passed	Stanley, Trevor	02/01/2022
Rough-In Plumbing	Passed	Stanley, Trevor	01/26/2022
Framing	Failed	Stanley, Trevor	01/26/2022
Insulation	Partial Pass	Stanley, Trevor	01/26/2022
Framing	Partial Pass	Stanley, Trevor	01/21/2022
Rough-In Plumbing	Failed	Stanley, Trevor	01/21/2022
Rough-In Mechanical	Passed	Stanley, Trevor	01/21/2022

Rough-In Mechanical	Partial Pass	Matherly, Samuel	01/18/2022
Rough-In Electrical	Passed	Matherly, Samuel	01/18/2022
Framing	Failed	Matherly, Samuel	01/18/2022
Rough-In Plumbing	Partial Pass	Matherly, Samuel	01/18/2022
Rough-In Gas	Passed	Matherly, Samuel	01/18/2022
Rough-In Plumbing	Partial Pass	Stanley, Trevor	01/14/2022
Pre-Slab	Passed	Matherly, Samuel	11/03/2021
Misc	Pending Inspection	Stanley, Trevor	11/02/2021
Misc	Cancelled	Stanley, Trevor	10/15/2021
Pre-Slab	Partial Pass	Stanley, Trevor	09/09/2021
Underslab Plumbing	Passed	Stanley, Trevor	08/25/2021
Foundation	Cancelled	Stanley, Trevor	08/11/2021
Drain tile\Water Proofing	Pass with Conditions	Stanley, Trevor	08/11/2021
Foundation	Passed	Matherly, Samuel	07/28/2021
Footing Perimeter	Passed	Stanley, Trevor	07/20/2021

Franklin County Building Inspection's Office
FIELD INSPECTION

1255 Franklin Street
Suite 103
Rocky Mount, Virginia 24151
(540) 483-3047

Date: 9/13/12

____ Corrections _____ Approved
____ Notice of Violation _____ ☒ Not Approved

To: Craig C. Permit # 60354
From: Revor S. Subject: Final

Ref: 1) Post 911 Address
2) Foam cannot be exposed on exterior
3) Paint, Band, & secure black iron gas pipe on exterior.
4) Garages shall be fire separated from dwelling
per VRC 302.6 & 302.5 for opening protection.
5) Deck joists & ret wall req 30x30 working
clearance.

See Open Framing: Need letter for tall wall
engineering that did not match field construction.

Need Operations Permit & Blower Door
test prior to CO.

10-11-22 -TS N/A - See Notes In Encomp
Regarding Deck & Tall Wall.

**INSPECTION WORKSHEET (INSP-216579-2022)
FOR FRANKLIN COUNTY**

Case Number: RES-06-2021-60354

Case Module: Permit

Inspection Date: 10/11/2022

Inspection Status: Failed

Inspector: Trevor Stanley

Inspection Type: Final

Job Address: 197 Compass Cove Cir
Moneta, VA 24121

Parcel Number: 0481403700

Contact Type

Company Name

Name

Applicant

CRAIG CARON

Contractor

CRAIG CARON BUILDER

CRAIG ANTHONY CARON

Mechanics Lien

FIRST CHOICE TITLE & SETTLEMENT

Owner

LISA K and ROBERT GEARHART

Checklist Item

Results

Comments

Miscellaneous

Fail

10/11/22-TS

N/A

2. Rear deck requires more lateral load devices. 1500 lbs hold down required.

3. Ledger screwed appear to be on 19" centers with trusses, need documentation for spacing of installed ledger screws,

See previous inspection - need engineering approval for tall wall construction.

**INSPECTION WORKSHEET (INSP-215621-2022)
FOR FRANKLIN COUNTY**

Case Number: RES-06-2021-60354

Case Module: Permit

Inspection Date: 09/14/2022

Inspection Status: Failed

Inspector: Trevor Stanley

Inspection Type: Final

Job Address: 197 Compass Cove Cir
Moneta, VA 24121

Parcel Number: 0481403700

Contact Type

Company Name

Name

Applicant

CRAIG CARON

Contractor

CRAIG CARON BUILDER

CRAIG ANTHONY CARON

Mechanics Lien

FIRST CHOICE TITLE & SETTLEMENT

Owner

LISA K and ROBERT GEARHART

Checklist Item

Results

Comments

Miscellaneous

Fail

9/14/22-TS

1. Post 911 address.
2. Foam can not be exposed on exterior.
3. Paint, bond, and secure black iron gas piping on exterior.
4. Garages shall be fire separated from dwelling per VRC 302.6 and 302.5 for openings.
5. Mechanical units require 30x30 working clearance around face of unit for servicing at retaining wall.

See open framing inspection: need letter for tall wall engineering that did not match construction in field.

Need operations permit and blower door test prior to CO.

**INSPECTION WORKSHEET (INSP-208126-2022)
FOR FRANKLIN COUNTY**

Case Number: RES-06-2021-60354

Case Module: Permit

Inspection Date: 01/26/2022

Inspection Status: Failed

Inspector: Trevor Stanley

Inspection Type: Framing

Job Address:

Parcel Number: 0481403700

Contact Type

Company Name

Name

Applicant

CRAIG CARON

Contractor

CRAIG CARON BUILDER

CRAIG ANTHONY CARON

Mechanics Lien

FIRST CHOICE TITLE & SETTLEMENT

Owner

LISA K and ROBERT GEARHART

Checklist Item

Results

Comments

Miscellaneous

Fail

1/26/22-TS

1. Tall wall engineering provided does not match construction in field. Headers and posts not provided at top and running to roof deck as shown on engineering drawing.

2. Ledgered decks will require lateral load devices. (If staying open can see at final)

INSPECTION WORKSHEET (INSP-207997-2022) FOR FRANKLIN COUNTY

Case Number: RES-06-2021-60354

Case Module: Permit

Inspection Date: 01/21/2022

Inspection Status: Failed

Inspector: Trevor Stanley

Inspection Type: Rough-In Plumbing

Job Address:

Parcel Number: 0481403700

Contact Type

Company Name

Name

Applicant

CRAIG CARON

Contractor

CRAIG CARON BUILDER

CRAIG ANTHONY CARON

Mechanics Lien

FIRST CHOICE TITLE & SETTLEMENT

Owner

LISA K and ROBERT GEARHART

Checklist Item

Results

Comments

Miscellaneous

Fail

1/21/22-TS

Test not on water lines - air test can be seen at insulation once
corrections are made

[illegible]

Franklin County Building Inspection's Office
FIELD INSPECTION

1255 Franklin Street
Suite 103
Rocky Mount, Virginia 24151
(540) 483-3047

Date: 1-21-22

_____ Corrections _____ Approved
_____ Notice of Violation _____ Not Approved

To: Craig C. Permit # 60364
From: Inspector S. Subject: Rough Ins

Ref: _____

Framing - Partial Pass
1) Will need full wall engineering
2) Additional bracing needed per specs (Circled on truss specs)

Plumbing
1) Test out on plumbing

Mech
OK - Vents shall terminate - 3' from openings at final

OK to Insulate

Blower Door test req by final

Franklin County Building Inspection's Office
FIELD INSPECTION

1255 Franklin Street
Suite 103
Rocky Mount, Virginia 24151
(540) 483-3047

Date: 1-18-22

 Corrections

 Approved

 Notice of Violation

 Not Approved

To: Craig Larson Permit # 60354
From: Samuel Northcutt Subject: R.I. Mech, Plumbing & Framing

Ref: (1) Mech

Exhaust Fan needs to exit at least 3 foot away from any windows.

(2) Framing Inside House only (No Deck)
Needs truss sheets.

(2) Needs Mech. fasteners on all steps & landings

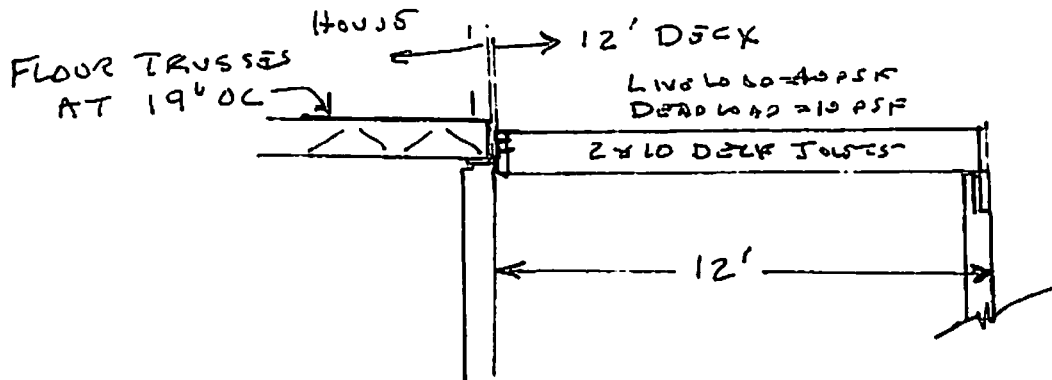
(2) Need to portal frame garage doors.

(3) R.I Plumbing

(1) Air test was on 80psi and in 15min test leaked down to 70psi

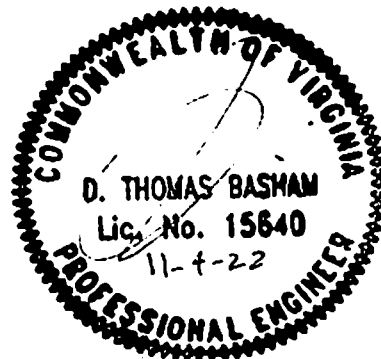
DECK LEDGER ATTACHMENT TO FLOOR TRUSSES

* SEE ATTACHED FLOOR TRUSS MFG. DETAIL WHICH ALLOWS LEDGER ATTACHMENT WITH BOLTS OR LAG SCREWS.

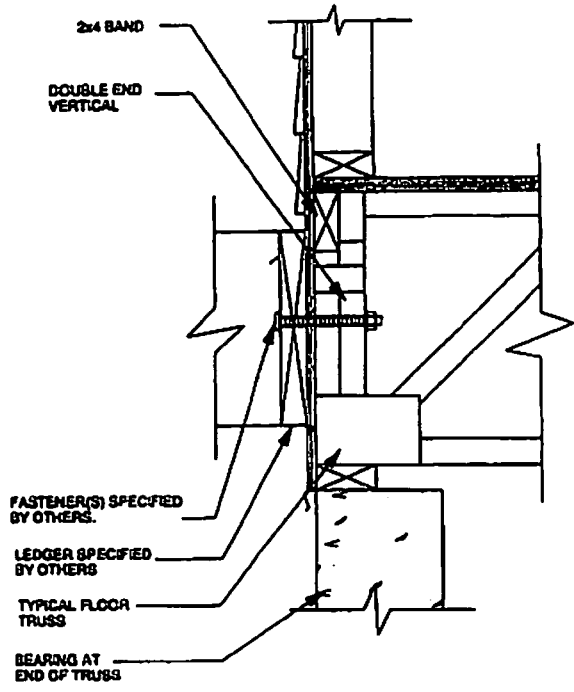


- LEDGER LOAD = $(12/2) \text{ SDPSF} = 300 \text{ lb/LF}$
- LOAD PER TRUSS JOIST = $(19/12)(300) = 475 \text{ lbs / FLOOR TRUSS}$
- USING Z-4" x 5/16" RSS RUGGED STRUCTURAL SCREWS
- WOODSIDE MEMBER THICKNESS = 1.5"
- LATERAL RESISTANCE - SPF = 357 lbs / 4" SCREW
- TOTAL RESISTANCE = 2 SCREWS x 357 lbs / screw = 714 lbs
- RESISTANCE = $\frac{714 \text{ lbs}}{475 \text{ lbs / TRUSS}} \sim \text{F.O.S.} = 1.50$

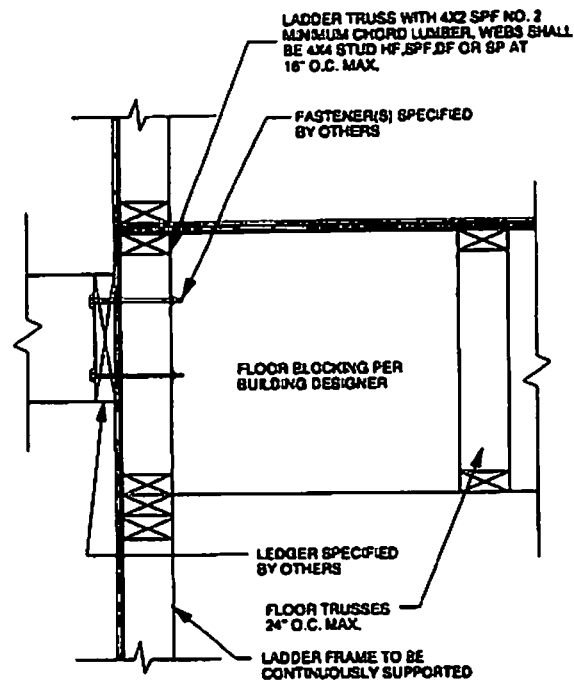
∴ Z-4" x 5/16" RSS STRUCTURAL SCREWS PER TRUSS JOISTS IS OKAY



2/3



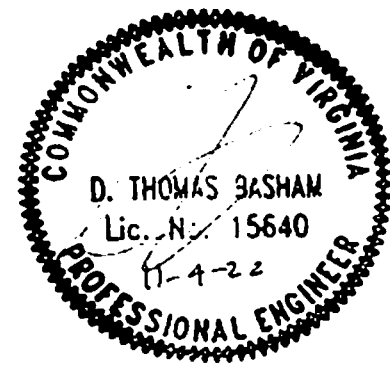
**FLOOR TRUSS PERPENDICULAR
TO BEARING WALL**
N.T.S.
OTHER FRAMING ELEMENTS
NOT SHOWN FOR CLARITY



**FLOOR TRUSS PARALLEL
TO BEARING WALL**
N.T.S.
OTHER FRAMING ELEMENTS
NOT SHOWN FOR CLARITY

NOTES:

- DETAIL PERMITS A MAXIMUM OF TWO 5/8" DIA. THRU BOLTS OR LAG SCREWS TO BE INSTALLED ALONG THE VERTICAL CENTER LINE AND INTO THE DOUBLE END VERTICAL OF FLOOR TRUSSES OR INTO THE 4X4 VERTICALS OF A LADDER TRUSS.
- FASTENERS SHALL NOT INTERFERE WITH ANY JOINTS OR CONNECTORS WITHIN THE FLOOR OR LADDER TRUSS AND BE INSTALLED PER NDS.
- CAPACITY OF CONNECTION SHALL BE SPECIFIED BY THE BUILDING DESIGNER. REFER TO NATIONAL, STATE, LOCAL BUILDING CODES OR STANDARD INDUSTRY DETAILS APPROVED BY THE BUILDING OFFICIAL.
- DETAIL HAS CONSIDERED VERTICAL LOAD CAPACITY OF THE FASTENERS ONLY. ALL OTHER FRAMING ELEMENTS REQUIRED TO SUPPORT AND OR RESIST ANY OTHER LOADS AND OR FORCES SHALL BE THE RESPONSIBILITY OF OTHERS.
- DESIGN OF ALL DECK OR PORCH COMPONENTS SHALL BE BY OTHERS.



Factored Resistances (RSS 5/16")

FACTORED RESISTANCES FOR D-FIR MEMBERS

MODEL/ BULK PART NO.	SIZE		SHANK DIAMETER	THREADED LENGTH (in)	D-FIR-1											
	THREAD DIA (in)	LENGTH (in)			FACTORED LATERAL RESISTANCE WOOD SIDE MEMBER THICKNESS (in)										FACTORED WITHDRAWAL	
					1.5	2	2.5	3	3.5	4	4.5	5	6	8		
					LB. kN	LB. kN	LB. kN	LB. kN	LB. kN	LB. kN	LB. kN	LB. kN	LB. kN	LB. kN		
10217	5/16	2.5	0.1988	1.5	268°	---	---	---	---	---	---	---	---	---	378	
10219		2.75		1.75	1.19°	---	---	---	---	---	---	---	---	---	1.68	
					295	---	---	---	---	---	---	---	---	449		
10221		3.125		2.125	1.31	---	---	---	---	---	---	---	---	---	2.00	
					335	302°	---	---	---	---	---	---	---	---	---	556
10223		3.5		2.5	1.49	1.34°	---	---	---	---	---	---	---	---	---	2.47
					376	376	268°	---	---	---	---	---	---	---	---	664
10225		4		2.75	1.67	1.67	1.19°	---	---	---	---	---	---	---	---	2.95
					404	429	402	268°	---	---	---	---	---	---	---	735
10231		5.125		3.5	1.80	1.91	1.79	1.19°	---	---	---	---	---	---	---	3.27
					404	459	488	472	418	302°	---	---	---	---	---	949
10235		6		3.875	1.80	2.04	2.17	2.10	1.86	1.34°	---	---	---	---	---	4.22
					404	459	488	488	488	459	402	268°	---	---	---	1056
							1.80	2.04	2.17	2.17	2.17	2.04	1.79	1.19°	---	---

FACTORED RESISTANCES FOR S-P-F MEMBERS (LBS)

MODEL/ BULK PART NO.	SIZE		SHANK DIAMETER	THREADED LENGTH (In)	SPF											
	THREAD DIA (in)	LENGTH (In)			FACTORED LATERAL RESISTANCE WOOD SIDE MEMBER THICKNESS (In)										FACTORED WITHDRAWAL	
					1.5	2	2.5	3	3.5	4	4.5	5	6	8		
					LB. kN	LB. kN	LB. kN	LB. kN	LB. kN	LB. kN	LB. kN	LB. kN	LB. kN	LB. kN		
10217	<div>5/16</div>	2.5	0.1988	1.5	230°	---	---	---	---	---	---	---	---	---	288	
					1.02°	---	---	---	---	---	---	---	---	---	---	1.28
10219		2.75		1.75	253	---	---	---	---	---	---	---	---	---	---	342
					1.13	---	---	---	---	---	---	---	---	---	---	1.52
10221		3.125		2.125	287	259°	---	---	---	---	---	---	---	---	---	454
					1.28	1.15°	---	---	---	---	---	---	---	---	---	1.88
10223		3.5		2.5	322	322	230°	---	---	---	---	---	---	---	---	505
					1.43	1.43	1.02°	---	---	---	---	---	---	---	---	2.25
10225		<div>4</div>		2.75	<div>357</div>	368	345	230°	---	---	---	---	---	---	---	559
					1.59	1.64	1.53	1.02°	---	---	---	---	---	---	---	2.49
10231		5.125		3.5	357	403	439	415	369	259°	---	---	---	---	---	723
					1.59	1.79	1.95	1.85	1.64	1.15°	---	---	---	---	---	3.21
10235		6		3.875	357	403	439	439	439	403	345	230°	---	---	---	804
					1.59	1.79	1.95	1.95	1.95	1.79	1.53	1.02°	---	---	---	3.58

¹ End-grain installation is not permitted.

² Factored lateral resistances shown have been developed in accordance with Clause 12.11 CSA 086 2016 Wood Screw provisions. Values must be multiplied by all applicable modification factors as specified for wood screws in accordance with CSA 086 2016.

³ Factored lateral resistances according to Clause 12.6 CSA 086 2016 Lag Screw provisions can be obtained upon request. Please contact ITW Canada for more information. Designer to note provisions for net area and group of fasteners per Clause 12 in CSA 086 2016.

⁴ Factored withdrawal resistances shown have been developed in accordance with Clause 12.6 CSA 086 2016 Lag Screw provisions. Values must be multiplied by all applicable modification factors as specified for lag screws in accordance with CSA 086 2016.

⁵ Factored withdrawal resistances shown assume the entire threaded portion of the screw is installed into the main member. This accounts for the tip length reduction as per 12.6 CSA 086 2016 Lag Screw provisions.

⁶ Minimum row spacing, spacing in row and edge distances shall be as specified in Clause 12.6.2.6 CSA 086 2016. Designer to note additional provision in Clause 12 in CSA 086 2016 for service conditions and other factors affecting connection layout and capacity. The minimum spacing table can be used for reference.

*The penetration length is less than the minimum as per Lag Screw provision but it meets the penetration length according to the Wood Screw provision on Clause 12 of CSA 086 2016. See footnote 6.

⁷ Convert inches to millimetres by multiplying the value by 25.4 (1 in. = 25.4 mm).

ITW Construction Products

Call our toll free number 800-387-6633 or visit www.fasteners.com for general information.
Visit www.fasteners.com for the most current product and technical information.

FASTENERS

G 13



October 28, 2022

Bob & Lisa Gearhart
1228 Peters Pike Road
Wirtz, VA 24184

Re: Gearhart Residence Tall Wall Framing, Compass Coves Subdivision

Dear Mr. & Mrs. Gearhart,

We were contacted to address the discrepancy between the Tall Wall Framing plans and how the tall walls were installed.

The approved plans detailed that the wall framing should extend to the underside of the roof sheathing.

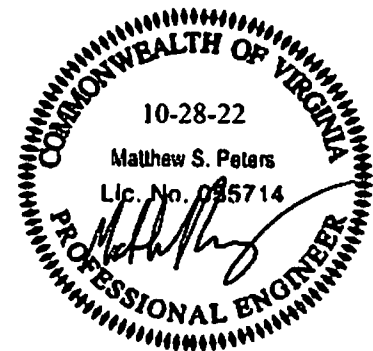
The wall was framed to the bottom of the truss framing with 2x6 ladder framing spanning between the trusses that are on either side of the tall wall framing.

The wall framing and attachment to the roof framing is sufficient for the design wind loads without remedial action.

We trust that this is the information you require. Please feel free to call us if you have any questions. Thank you.

Covenant Engineering

Matthew Peters, PE



Blower Door Results for Virginia Building Code Compliance



197 Compass Cove Circle New Construction
 Moneta, VA 24121
 Field Visit Date 9/15/2022, 2pm
 Performed By: D. Cohan
 Outdoor Conditions: 80° F / 45% RH / 57° F DP
 Winds NE 5 mph
 Indoor Conditions: 74° F

Contact Name: Craig Caron

General Contractor: Craig Caron Builder
 95 Windward Drive
 Moneta, VA

Building and Inspections Franklin County Building
 Department: Inspections
 1255 Franklin St, Suite 103
 Rocky Mount, VA 24151

Building Type Single Family Residence
 Building Permit Number: RES-06-2021-60354
 BBWX Job #: 1-21-096.15

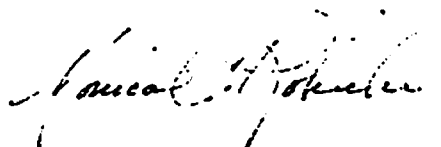
Conditioned Area:	4,084	Conditioned Volume:	43,957
Incl. Conditioned Basement?	Includes Basement	# Bedrooms As Built:	3
CFM50 Code Target to meet ≤ 5 ACH50:	3,663	Measured CFM50:	1,396
Measured ACHn:	0.08	Measured ACH50:	1.91

Compliance per R-402.4.1.3, 2015 Virginia Construction Code

Pass? **Pass, ACHn < .30**

The information in this report was prepared for building code compliance, only. Results may be relevant for other purposes, including energy modeling, the Green and Energy Efficient Home Addendum and HVAC calibration. If you have any questions, feel free to reach out to us. It is a pleasure to be of service to you.

Sincerely,



Monica Rokicki
 and the Better Building Works Team
 LEED BD+C, ERO+M, WELL, WUFI, EPS, BPI Analyst & Healthy Homes Evaluator

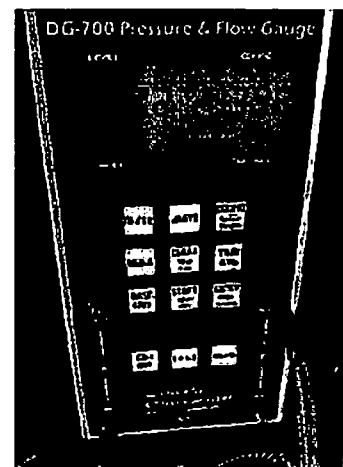


EXHIBIT 11



CLEARANCE AND FLASHING REQUIREMENTS

Figure 3
Roof to Wall

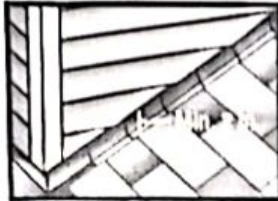


Figure 4
Horizontal Flashing

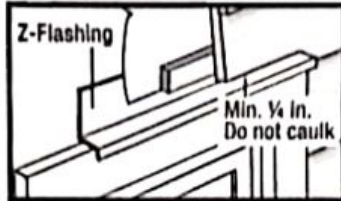


Figure 5
Kickout Flashing



Figure 6
Slabs, Path, Steps to Siding



Figure 7
Deck to Wall

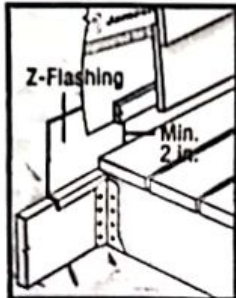


Figure 8
Ground to Siding

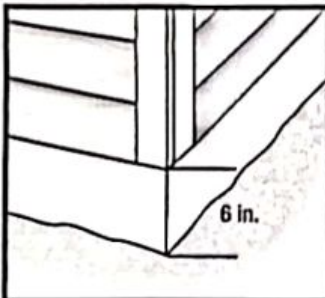


Figure 9
Gutter to Siding



Figure 10
Sheltered Areas

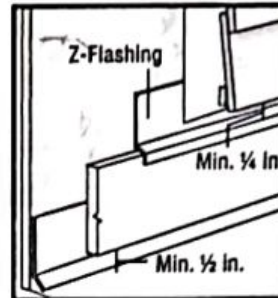


Figure 11
Mortar/Masonry

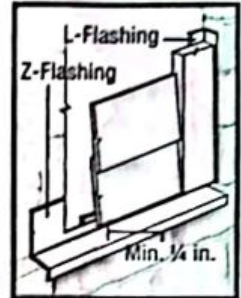


Figure 12
Drip Edge

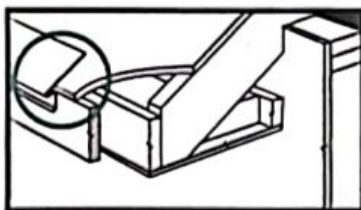


Figure 13
Block Penetration

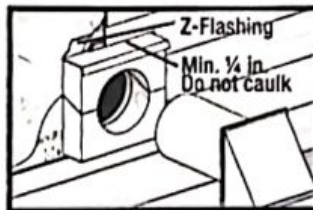


Figure 14
Valley/Shingle Extension



FASTENER REQUIREMENTS*

Refer to the applicable ESR report online to determine which fastener meets your wind load design criteria.

Blind Nailing is the preferred method of installation for HardiePlank® lap siding products. Face nailing should only be used where required by code for high wind areas and must not be used in conjunction with Blind nailing (Please see JH Tech bulletin 17 for exemption when doing a repair).

BLIND NAILING

Nails - Wood Framing

- Siding nail (0.09 in. shank x 0.221 in. HD x 2 in. long)
- 11ga. roofing nail (0.121 in. shank x 0.371 in. HD x 1.25 in. long)

Screws - Steel Framing

- Ribbed Wafer-head or equivalent (No. 8 x 1 1/4 in. long x 0.375 in. HD) Screws must penetrate 3 threads into metal framing.

Nails - Steel Framing

- ET & F Panelfast® nails or equivalent (0.10 in. shank x 0.313 in. HD x 1-1/2 in. long)
- Nails must penetrate minimum 1/4 in. into metal framing.

OSB minimum 7/16 in.

- Siding nail (0.09 in. shank x 0.215 in. HD x 1-1/2 in. long)
- Ribbed Wafer-head or equivalent (No. 8 x 1 5/8 in. long x 0.375 in. HD).

FACE NAILING

Nails - Wood Framing

- 6d (0.113 in. shank x 0.267 in. HD x 2 in. long)
- Siding nail (0.09" shank x 0.221" HD x 2" long)

Screws - Steel Framing

- Ribbed Bugle-head or equivalent (No. 8-18 x 1-5/8 in. long x 0.323 in. HD) Screws must penetrate 3 threads into metal framing.

Nails - Steel Framing

- ET & F pin or equivalent (0.10 in. shank x 0.25 in. HD x 1-1/2 in. long)
- Nails must penetrate minimum 1/4 in. into metal framing.

OSB minimum 7/16 in.

- Siding nail (0.09 in. shank x 0.221 in. HD x 1-1/2 in. long)

*Also see General Fastening Requirements; and when considering alternative fastening options refer to James Hardie's Technical Bulletin USTB 5 - Fastening Tips for HardiePlank Lap Siding.



FASTENER REQUIREMENTS *continued*

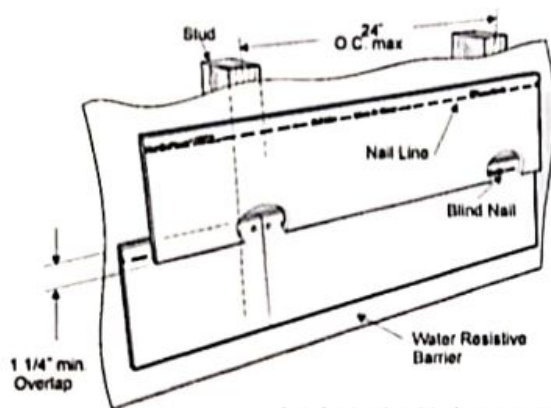
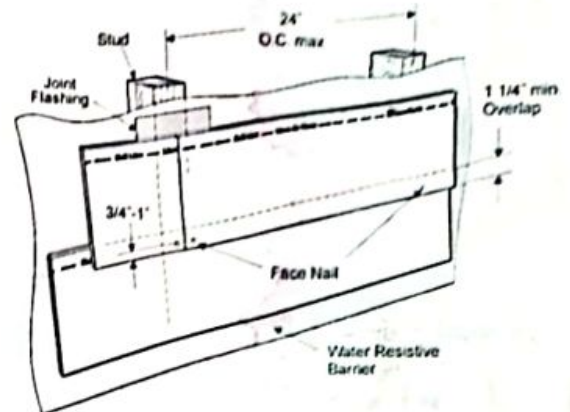


Figure 14 Figure 15



Laminate sheet to be removed immediately after installation of each course for ColorPlus® products.

Pin-backed corners may be done for aesthetic purposes only. Finish nails are recommended for pin-backs. Headed siding nails are **allowed**. Place pin-backs no closer than 1 in. from plank ends and 3/4 in. from plank edge into min. 3/8 in. wood structural panel. Pin-backs are not a substitute for blind or face nailing.

GENERAL FASTENING REQUIREMENTS

Fasteners must be corrosion resistant, galvanized, or stainless steel. Electro-galvanized are acceptable but may exhibit premature corrosion. James Hardie recommends the use of quality, hot-dipped galvanized nails. James Hardie is not responsible for the corrosion resistance of fasteners. Stainless steel fasteners are recommended when installing James Hardie® products near the ocean, large bodies of water, or in very humid climates.

Manufacturers of ACQ and CA preservative-treated wood recommend spacer materials or other physical barriers to prevent direct contact of ACQ or CA preservative-treated wood and aluminum products. Fasteners used to attach HardieTrim Tabs to preservative-treated wood shall be of hot dipped zinc-coated galvanized steel or stainless steel and in accordance to 2009 IRC R317.3 or 2009 IBC 2304.9.5

- Consult applicable product evaluation or listing for correct fasteners type and placement to achieve specified design wind loads.
- NOTE: Published wind loads may not be applicable to all areas where Local Building Codes have specific jurisdiction. Consult James Hardie Technical Services if you are unsure of applicable compliance documentation.
- Drive fasteners perpendicular to siding and framing.
- Fastener heads should fit snug against siding (no air space).
- NOTE: Whenever a structural member is present, HardiePlank should be fastened with even spacing to the structural member. The tables allowing direct to OSB or plywood should only be used when traditional framing is not available.

CUT EDGE TREATMENT

Caulk, paint or prime all field cut edges. James Hardie touch-up kits are required to touch-up ColorPlus products.

CAULKING

For best results use an Elastomeric Joint Sealant complying with ASTM C920 Grade NS, Class 25 or higher or a Latex Joint Sealant complying with ASTM C834. Caulking/Sealant must be applied in accordance with the caulking/sealant manufacturer's written instructions.

Note: some caulking manufacturers do not allow "tooling".

PAINTING

DO NOT use stain, oil/alkyd base paint, or powder coating on James Hardie® products. Factory-primed James Hardie products must be painted within 180 days of installation. 100% acrylic topcoats are recommended. Do not paint when wet. For application rates refer to paint manufacturers specifications. Back-rolling is recommended if the siding is sprayed.

PNEUMATIC FASTENING

James Hardie products can be hand nailed or fastened with a pneumatic tool. Pneumatic fastening is highly recommended. Set air pressure so that the fastener is driven snug with the surface of the siding. A flush mount attachment on the pneumatic tool is recommended. This will help control the depth the nail is driven. If setting the nail depth proves difficult, choose a setting that under drives the nail. (Drive under driven nails snug with a smooth faced hammer - Does not apply for installation to steel framing).



DO NOT



IF, THEN

WOOD FRAME



HAMMER FLUSH

DO NOT



IF, THEN

STEEL FRAME



REMOVE & REPLACE

DO NOT



IF, THEN

FACE NAIL



COUNTERSINK & FILL

DO NOT USE



DO NOT USE

CLIPPED HEAD NAILS



STAPLES



HardiePlank® Lap Siding

EFFECTIVE SEPTEMBER 2019

IMPORTANT: FAILURE TO FOLLOW JAMES HARDIE WRITTEN INSTALLATION INSTRUCTIONS AND COMPLY WITH APPLICABLE BUILDING CODES MAY VIOLATE LOCAL LAWS, AFFECT BUILDING ENVELOPE PERFORMANCE AND MAY AFFECT WARRANTY COVERAGE. FAILURE TO COMPLY WITH ALL HEALTH AND SAFETY REGULATIONS WHEN CUTTING AND INSTALLING THIS PRODUCT MAY RESULT IN PERSONAL INJURY. BEFORE INSTALLATION, CONFIRM YOU ARE USING THE CORRECT HARDIEZONE® PRODUCT INSTRUCTIONS BY VISITING HARDIEZONE.COM OR CALL 1-866-942-7343 (866-9-HARDIE)

STORAGE & HANDLING:

Store flat and keep dry and covered prior to installation. Installing siding wet or saturated may result in shrinkage at butt joints. Carry planks on edge. Protect edges and corners from breakage. James Hardie is not responsible for damage caused by improper storage and handling of the product.



⚠ CUTTING INSTRUCTIONS

OUTDOORS

- Position cutting station so that airflow blows dust away from the user and others near the cutting area.
- Cut using one of the following methods:
 - Best:** Circular saw equipped with a HardieBlade® saw blade and attached vacuum dust collection system. Shears (manual, pneumatic or electric) may also be used, not recommended for products thicker than 7/16 in.
 - Better:** Circular saw equipped with a dust collection feature (e.g. Roan® saw) and a HardieBlade saw blade.
 - Good:** Circular saw equipped with a HardieBlade saw blade.

INDOORS

- DO NOT grind or cut with a power saw indoors. Cut using shears, manual, pneumatic, or electric) or the score and snap method, not recommended for products thicker than 7/16 in.
- DO NOT dry sweep dust, use wet dust suppression or vacuum to collect dust.
 - For maximum dust reduction, James Hardie recommends using the "Bird" cutting practices. Always follow the equipment manufacturer's instructions for proper operation.
 - For best performance when cutting with a circular saw, James Hardie recommends using HardieBlade® saw blades.
 - Go to jameshardiepros.com for additional cutting and dust control recommendations.

IMPORTANT: The Occupational Safety and Health Administration (OSHA) regulates workplace exposure to silica dust. For construction sites, OSHA has deemed that cutting fiber cement with a circular saw having a blade diameter less than 8 inches and connected to a commercially available dust collection system per manufacturer's instructions results in exposures below the OSHA Permissible Exposure Limit (PEL) for respirable crystalline silica, without the need for additional respiratory protection.

If you are unsure about how to comply with OSHA silica dust regulations, consult a qualified industrial hygienist or safety professional, or contact your James Hardie technical sales representative for assistance. James Hardie makes no representation or warranty that adopting a particular cutting practice will assure your compliance with OSHA rules or other applicable laws and safety requirements.

IMPORTANT: To prevent damage to the drip edge, extra care should be taken when removing planks from the pallet, while handling, and when installing with a lap gauge. Please see additional handling requirements on page 4.

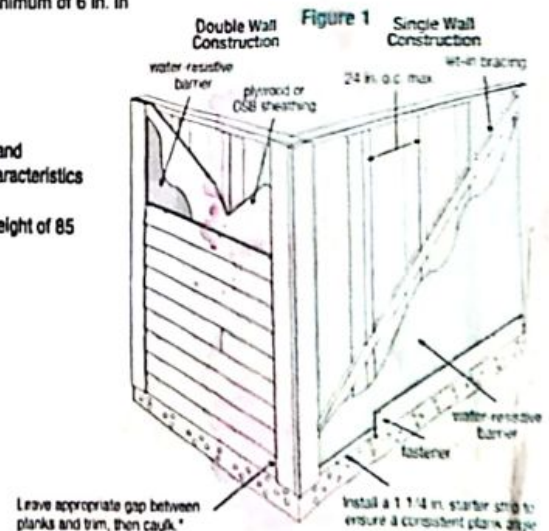
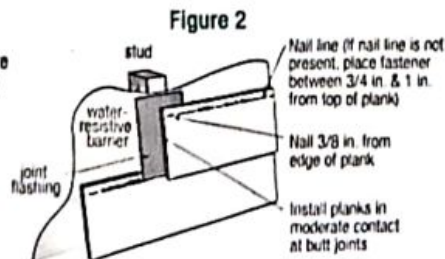
GENERAL REQUIREMENTS:

- HardiePlank® lap siding can be installed over braced wood or steel studs, 20 gauge (33 mils) minimum to 16 gauge (54 mils) maximum, spaced a maximum of 24 in. o.c. or directly to minimum 7/16 in. thick OSB sheathing. See General Fastening Requirements. Irregularities in framing and sheathing can mirror through the finished application. Correct irregularities before installing siding.
- Information on installing James Hardie products over non-nailable substrates (ex: gypsum, foam, etc.) can be located in JH Tech Bulletin 19 at www.jameshardie.com
- A water-resistive barrier is required in accordance with local building code requirements. The water-resistive barrier must be appropriately installed with penetration and junction flashing in accordance with local building code requirements. James Hardie will assume no responsibility for water infiltration. James Hardie does manufacture HardieWrap® Weather Barrier, a non-woven non-perforated housewrap, which complies with building code requirements.
- Adjacent finished grade must slope away from the building in accordance with local building codes - typically a minimum of 6 in. in the first 10 ft.
- Do not use HardiePlank lap siding in Fascia or Trim applications.
- Do not install James Hardie products, such that they may remain in contact with standing water.
- HardiePlank lap siding may be installed on flat vertical wall applications only.
- For larger projects, including commercial and multi-family projects, where the span of the wall is significant in length, the designer and/or architect should take into consideration the coefficient of thermal expansion and moisture movement of the product in their design. These values can be found in the Technical Bulletin "Expansion Characteristics of James Hardie® Siding Products" at www.jameshardie.com.
- James Hardie Building Products provides installation/wind load information for buildings with a maximum mean roof height of 85 feet. For information on installations above 60 feet, please contact JH technical support.

INSTALLATION: JOINT TREATMENT

One or more of the following joint treatment options are required by code (as referenced 2009 IRC R703.10.2)

- Joint Flashing (James Hardie recommended)
- Caulking* (Caulking is not recommended for ColorPlus for aesthetic reasons as the Caulking and ColorPlus will weather differently. For the same reason, do not caulk nail heads on ColorPlus products.)
- "H" jointer cover



JH James Hardie

Note: Field painting over caulking may produce a sheen difference when compared to the field painted PrimePlus. *Refer to Caulking section in these instructions. For additional information on HardieWrap® Weather Barrier, consult James Hardie at 1-866-4HARDIE or www.hardiewrap.com

SELECT CEDARMILL® | SMOOTH | BEADED CEDARMILL® | BEADED SMOOTH

Visit jameshardiepros.com for the most recent version.

HS11117 P1/4 09/19

**COLORPLUS® TECHNOLOGY CAULKING, TOUCH-UP & LAMINATE**

- Care should be taken when handling and cutting James Hardie ColorPlus® products. During installation use a wet soft cloth or soft brush to gently wipe off any residue or construction dust left on the product, then rinse with a garden hose.
 - Touch up nicks, scrapes and nail heads using the ColorPlus® Technology touch-up applicator. Touch-up should be used sparingly. If large areas require touch-up, replace the damaged area with new HardiePlank® lap siding with ColorPlus® Technology.
 - Laminate sheet must be removed immediately after installation of each course.
 - Terminate non-factory cut edges into trim where possible, and caulk. Color matched caulks are available from your ColorPlus® product dealer.
 - Treat all other non-factory cut edges using the ColorPlus Technology edge coat, available from your ColorPlus product dealer.
- Note:** James Hardie does not warrant the usage of third party touch-up or paints used as touch-up on James Hardie ColorPlus products.

Problems with appearance or performance arising from use of third party touch-up paints or paints used as touch-up that are not James Hardie touch-up will not be covered under the James Hardie ColorPlus Limited Finish Warranty.

COVERAGE CHART/ESTIMATING GUIDE

Number of 12 ft. planks, does not include waste

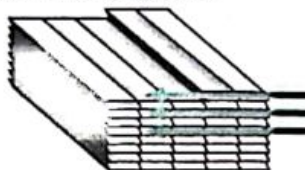
COVERAGE AREA LESS OPENINGS		HARDIEPLANK® LAP SIDING WIDTH									
SQ (1 SQ = 100 sq ft.)	(exposure)	5 1/4 4	6 1/4 5	7 1/4 6	7 1/2 6 1/4	8 6 3/4	8 1/4 7	9 1/4 8	9 1/2 8 1/4	12 10 3/4	
1		25	20	17	16	15	14	13	13	9	
2		50	40	33	32	30	29	25	25	19	
3		75	60	50	48	44	43	38	38	28	
4		100	80	67	64	59	57	50	50	37	
5		125	100	83	80	74	71	63	63	47	
6		150	120	100	96	89	86	75	75	56	
7		175	140	117	112	104	100	88	88	65	
8		200	160	133	128	119	114	100	100	74	
9		225	180	150	144	133	129	113	113	84	
10		250	200	167	160	148	143	125	125	93	
11		275	220	183	176	163	157	138	138	102	
12		300	240	200	192	178	171	150	150	112	
13		325	260	217	208	193	186	163	163	121	
14		350	280	233	224	207	200	175	175	130	
15		375	300	250	240	222	214	188	188	140	
16		400	320	267	256	237	229	200	200	149	
17		425	340	283	272	252	243	213	213	158	
18		450	360	300	288	267	257	225	225	167	
19		475	380	317	304	281	271	238	238	177	
20		500	400	333	320	296	286	250	250	186	

This coverage chart is meant as a guide. Actual usage is subject to variables such as building design. James Hardie does not assume responsibility for over or under ordering of product.

ADDITIONAL HANDLING REQUIREMENTS

IMPORTANT: To prevent damage to the drip edge, extra care should be taken when removing planks from the pallet, while handling, and when installing with a lap gauge. Planks are interlocked together on the pallet, therefore they should be removed from the pallet horizontally (side to side) to allow planks to unlock themselves from one another.

Pull from across the stack



Do not go down the stack



HS11117 P4/4 09

SILICA WARNING

DANGER: May cause cancer if dust from product is inhaled. Causes damage to lungs and respiratory system through prolonged or repeated inhalation of dust from product. Refer to the current product Safety Data Sheet before use. The hazard associated with fiber cement arises from crystalline silica present in the dust generated by activities such as cutting, machining, drilling, routing, sawing, crushing, or otherwise abrading fiber cement, and when cleaned up, disposing of or moving the dust. When doing any of these activities in a manner that generates dust you must (1) comply with the OSHA standard for silica dust and/or other applicable law, (2) follow James Hardie cutting instructions to reduce or limit the release of dust, (3) warn others in the area to avoid breathing the dust, (4) when using mechanical saw or high speed cutting tools, work outdoors and use dust collection equipment, and (5) if other dust controls are available, wear a dust mask or respirator that meets NIOSH requirements (e.g. N-95 dust mask). During clean-up, use a well maintained vacuum and filter appropriate for capturing fine (respirable) dust or use wet clean-up methods - never dry sweep.

WARNING: This product can expose you to chemicals including respirable crystalline silica, which is known to the State of California to cause cancer. For more information go to P65Warnings.ca.gov.

RECOGNITION: In accordance with ICC-ES Evaluation Report ESR-2290, HardiePlank® lap siding is recognized as a suitable alternate to that specified in the 2006, 2009, 2012 & 2015 International Residential Code for One and Two-Family Dwellings, and the 2006, 2009, 2012 & 2015 International Building Code. HardiePlank lap siding is also recognized for application in the following: City of Los Angeles Research Report No. 24862, State of Florida Product Approval PLS-1, Miami-Dade County Florida NOA No. 17-0406 06, U.S. Dept. of HUD Materials Release 1263f, Texas Department of Insurance Product Evaluation EC-23, City of New York MEA 223-93-M, and California DSA PA-019. These documents are also be consulted for additional information concerning the suitability of this product for specific applications.



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POST OFFICE BOX 298
CHARLOTTESVILLE, VA 22902
MAIN: 434.951.7200

MICHIEHAMLETT

ATTORNEYS AT LAW

CHRISTOPHER JANSZKY

cjanszky@michiehamlett.com

Phone: 434.951.7285

Fax: 434.951.7245

October 5, 2023

VIA EMAIL AND FEDEX

Richard Shively – Chairman
Franklin County Local Board of Building Code Appeals
P.O. Box 795
Rocky Mount, VA 24151
Cell: 540.493.7131
Roanoke Office: 540.344.5500
[E-mail: rshively@shivelyelectric.com](mailto:rshively@shivelyelectric.com)

Re: 197 Compass Cove, Moneta, VA 24121
Written Request for Appeal

Dear Mr. Shively:

This firm and I represent Craig Caron in connection with his construction work at 197 Compass Cove, Moneta, Virginia 24121 (the “Property”), which is owned by Robert and Lisa Gearhart (the “Owners”). On his behalf, I write to the Franklin County Local Board of Building Code Appeals pursuant to Virginia Code § 36-105 and Section 119 of the Virginia Uniform Statewide Building Code to request an appeal of the Building Official’s four notices of violation issued to Mr. Caron on September 5, 2023. Respectfully, the Building Official erred in issuing each of the notices, which are enclosed as Exhibit 1.

First, the Building Official issued a notice of violation because Mr. Caron allegedly violated 2018 Virginia Residential Code Section R703.10.2 (Fiber Cement Lap Siding). The Building Official stated in his notice that this section of the Virginia Residential Code “requires that the siding be installed according to the approved manufacturer’s installation instructions” and found that “Exterior Concrete Lap siding is not installed in accordance with manufacturer installation instructions, which “voids the warranty and is likely to cause further issues.” As an initial matter, Section R703.10.2 does not require that siding be installed according to the approved manufacturer’s installation instructions. The only requirement in that Section regarding manufacturer instructions concerns fastener heads, which is not at issue here (“Lap siding courses shall be installed with the fastener heads exposed or concealed, in accordance with Table R703.3(1) or approved manufacturer’s instructions.”). Moreover, any deviations from the manufacturer’s instructions were requested and approved by the Owners at a meeting at which the Building Official

{01407035-3 }

attended. At the meeting, the Building Official and the Owners identified other issues, but those issues were subsequently remediated, which is evidenced by the July 22, 2022 Franklin County Inspection Worksheet, which approved Mr. Caron's work. *See* Exhibit 2. Further, the Franklin County Building Inspection Office conducted at least two inspections over the course of four or five months through issuance of a certificate of occupancy to track adherence to the siding remediation agreement. Subsequent to these inspections, neither the Building Inspection Office nor the Owners communicated any installation issues with the remediated siding.

Second, the Building Official issued a notice of violation that Mr. Caron allegedly violated 2018 Virginia Residential Code Section R506 (Concrete Floors (On Ground)) because the Property's "[b]asement garage/workshop floor cracked, materially more significant than a natural hair-line crack. Slab is consistently less than the required 3-1/2" thickness." It is factually incorrect that Mr. Caron failed to install slab at a thickness of 3.5 inches—in fact, Mr. Caron laid concrete slab at an average of 4 inches thickness. What is more, the Building Official determined, in the presence of the Owners at an onsite inspection, that the concrete slab was poured consistently more than 3.5 inches deep. Indeed, the Building Official noted that he had a crack in his concrete basement larger than the Owners' basement.

Additionally, while concrete cracking due to contraction from weather is normal, it may be moderated by installing saw joints in the concrete. Mr. Caron proposed installing saw joints to the Owners, but Ms. Gearhart was adamant that she did not want joints installed for cosmetic reasons. Mr. Caron fully advised Ms. Gearhart that failure to install joints would exacerbate and hasten and exacerbate the concrete cracking, but Ms. Gearhart instructed Mr. Caron to lay the concrete without the joints regardless. Further, on November 3, 2021, a Franklin County inspector inspected the pre-slab installation and approved Mr. Caron's work. *See* Exhibit 3. In fact, the exterior forms were set at four inches prior to the pre-slab inspection approval and witnessed by the approving inspector.

Third, the Building Official issued a notice of violation because Mr. Caron allegedly violated Virginia Uniform Statewide Building Code Section 112 ("Damage to regulated building components caused by violations of this code or by the use of faulty materials or installations shall be subject to the applicable provisions of Section 115."). The Building Official stated that the specific violation of this provision of the Code is that "Floor Trusses are damaged and incorrectly installed per manufacturer installation requirements. This has been verified by manufacturer representative." Although the Building Official does not provide details regarding this alleged violation in the notice, Mr. Caron understands from prior communications with the Building Official that the Building Official believes each top chord truss should have been cut for weight-bearing purposes. Mr. Caron has reviewed the instructions provided by Jones Building Systems, the truss manufacturer, and finds no support for this position because cutting the top chord trusses is not required by the instructions. Moreover, no damage to the floor trusses was observed by Mr. Caron or the Franklin County inspector before the certificate of occupancy was issued and Mr. Caron is unaware of any damage to floor trusses during construction on the Property. Further, the Franklin County inspector was provided truss sheets and the footings/foundation were approved during inspection. *See* Exhibit 4.

Finally, the Building Official issued a notice of violation because Mr. Caron allegedly violated 2018 Virginia Residential Code Section R406.1 (Concrete and masonry foundation damp proofing) and Section R406.2 (Concrete and masonry waterproofing) due to a leaky foundation in two locations. The Building Official does not identify which parts of these sections Mr. Caron allegedly violated and it is Mr. Caron's position that he complied fully with Sections R406.1 and R406.2. The foundation was approved by the Franklin County inspector, *see* Exhibit 4, and any leaks would have occurred after final inspection

and after Mr. Caron adequately installed the foundation. Mr. Caron also notes that he expressed to the Owners that the Property would have water runoff issues since it sits approximately 10 to 15 feet below the street, necessitating a large retaining wall.

The specific relief sought by Mr. Caron is:

- 1) A determination that Mr. Caron did not violate 2018 Virginia Residential Code Section R703.10.2;
- 2) A determination that Mr. Caron did not violate 2018 Virginia Residential Code Section R506;
- 3) A determination that Mr. Caron did not violate Virginia Uniform Statewide Building Code Section 112; and
- 4) A determination that Mr. Caron did not violate 2018 Virginia Residential Code Sections R406.1 and R406.2.

Thank you for your consideration. I am available to discuss this matter at your convenience should you wish to do so.

Sincerely,

A handwritten signature in black ink, appearing to read 'C. Jánszky', with a stylized flourish at the end.

Christopher Jánszky, Esq.

cc: Craig Caron (via email)
John Broughton, Building Official (via email)

EXHIBIT 1



DEVELOPMENT SERVICES DEPARTMENT OF BUILDING INSPECTIONS

OFFICIAL NOTICE OF VIOLATION

September 5, 2023

Responsible Party: Craig Caron- **dba/** Craig Caron Builders
PO BOX 759
Hardy, VA 24101

Property: 197 Compass Cove, Moneta, VA 24121

Mr. Caron,

County staff have contacted you numerous times regarding the following violations within the Virginia Uniform Statewide Building Code. The following describes the building code violations found at 197 Compass Cove, Moneta, VA 24121 for which you are the responsible party.

DESCRIPTION OF VIOLATIONS

Violation: Exterior Concrete Lap siding is not installed in accordance with manufacturer installation instructions. This installation voids the warranty and is likely to cause further issues.

Applicable Code Section: *2018 Virginia Residential Code-Section R703.10.2 Fiber Cement Lap Siding.* It requires that the siding be installed according to the approved manufacturer's installation instructions.

Corrective Action: Provide evaluation and repair design from manufacturer and repair in accordance with design. . All remedial work must be finished to consider the violation remedied.

CORRECTIVE ACTION REQUIRED

You were notified by e-mail of these violations on multiple occasions, including March 3 and on March 23, 2023. As of the date of this letter, these violations have not been corrected.

According to the Virginia Uniform Statewide Building Code, Section 36-106 of the Code of Virginia and Section 5-22 Franklin County Ordinance any violation shall be deemed a misdemeanor and any owner or any other person, firm or corporation convicted of such a **violation shall be punished by a fine of not more than \$2,500.**

The determination by the Building Official is that you are in violation of the Virginia Uniform Statewide Building Code. Failure to perform the corrective actions described above within 30 days of this notice may result in legal action being taken against you.

If you wish to contest this determination, you must file a written request for appeal to the Local Board of Building Appeals by submitting an application, the basis for your appeal, and a copy of this violation notice within thirty (30) days of the date on this notice to the Office of the Building Official. Failure to submit the written appeal within thirty (30) days shall

constitute acceptance of this decision and notice of violation.

If you have questions about the violation or the required corrective action, please contact our office at 540-483-3047 ext. 2248.

Thank you for your prompt attention to this matter.



JOHN W BROUGHTON, CBO
Franklin County Building Official
VBCOA/1st Vice-President



Franklin County

1255 Franklin St. Ste. 103
Rocky Mount, VA 24151
(540) 483-3047 Ext. 2248
John.Broughton@franklincountyva.gov

Right to Appeal: *VUSBC Section 119.5- Any person aggrieved by the Franklin County Building Department's application of the VUSBC or the refusal to grant a modification to the provisions of the VUSBC may appeal to the Local Board of Building Code Appeals. An applicant shall submit a written request for appeal to the LBBCA within 30 calendar days of the receipt of the decision being appealed. The application shall contain the name and address of the owner of the building structure and in addition, the name of and address of the person appealing, when the applicant is not the owner. Failure to submit the appeal of the building official's decision within the 30-day time limit shall constitute acceptance of the building official's decision.*



DEVELOPMENT SERVICES DEPARTMENT OF BUILDING INSPECTIONS

OFFICIAL NOTICE OF VIOLATION

September 5, 2023

Responsible Party: Craig Caron- **dba/** Craig Caron Builders
PO BOX 759
Hardy, VA 24101

Property: 197 Compass Cove, Moneta, VA 24121

Mr. Caron,

County staff have contacted you numerous times regarding the following violations within the Virginia Uniform Statewide Building Code. The following describes the building code violations found at 197 Compass Cove, Moneta, VA 24121 for which you are the responsible party.

DESCRIPTION OF VIOLATION

Violation: Basement garage/workshop floor cracked, materially more significant than a natural hair-line crack. Slab is consistently less than the required 3-1/2" thickness

Applicable Code Section: *Section R506 Concrete Floors (On Ground)* of the 2018 Virginia Construction Code.

Corrective Action: Provide intended repair solutions for the correction of the concrete floor for approval or provide an engineered evaluation and corrective action. All remedial work must be finished to consider the violation remedied.

Violation: Floor Trusses are damaged and incorrectly installed per manufacturer installation requirements. This has been verified by manufacturer representative (David Jones).

CORRECTIVE ACTION REQUIRED

You were notified by e-mail of these violations on multiple occasions, including March 3 and on March 23, 2023. As of the date of this letter, these violations have not been corrected.

According to the Virginia Uniform Statewide Building Code, Section 36-106 of the Code of Virginia and Section 5-22 Franklin County Ordinance any violation shall be deemed a misdemeanor and any owner or any other person, firm or corporation convicted of such a **violation shall be punished by a fine of not more than \$2,500.**

The determination by the Building Official is that you are in violation of the Virginia Uniform Statewide Building Code. Failure to perform the corrective actions described above within 30 days of this notice may result in legal action being taken against you.

If you wish to contest this determination, you must file a written request for appeal to the Local Board of Building Appeals

by submitting an application, the basis for your appeal, and a copy of this violation notice within thirty (30) days of the date on this notice to the Office of the Building Official. Failure to submit the written appeal within thirty (30) days shall constitute acceptance of this decision and notice of violation.

If you have questions about the violation or the required corrective action, please contact our office at 540-483-3047 ext. 2248.

Thank you for your prompt attention to this matter.



JOHN W BROUGHTON, CBO
Franklin County Building Official
VBCOA/1st Vice-President



Franklin County

1255 Franklin St. Ste. 103
Rocky Mount, VA 24151
(540) 483-3047 Ext. 2248
John.Broughton@franklincountyva.gov

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DESCRIPTION OF VIOLATIONS

Violation: Floor Trusses are damaged and incorrectly installed per manufacturer installation requirements. This has been verified by manufacturer representative (David Jones).

Applicable Code Section: *Virginia Construction Code: VUSBC Section 112. "Damage to regulated building components Caused by violations of this code or by the use of faulty materials or installations shall be subject to the applicable provisions of Section 115."*

Corrective Action: Provide truss evaluation and repair design from manufacturer and repair in accordance with design. All remedial work must be finished to consider the violation remedied.

CORRECTIVE ACTION REQUIRED

You were notified by e-mail of these violations on multiple occasions, including March 3 and on March 23, 2023. As of the date of this letter, these violations have not been corrected.

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DESCRIPTION OF VIOLATION

Violation: Foundation leaking in two locations.

Applicable Code Sections: *Section R406.1 Concrete and Masonry foundation damp proofing and Section R406.2 Concrete and masonry foundation Waterproofing* of the 2018 Virginia Construction Code.

Corrective Action: These two locations shall be made watertight. If the soil and/or water table are extreme, foundation water proofing is required.

CORRECTIVE ACTION REQUIRED

You were notified by e-mail of these violations on multiple occasions, including March 3 and on March 23, 2023. As of the date of this letter, these violations have not been corrected.

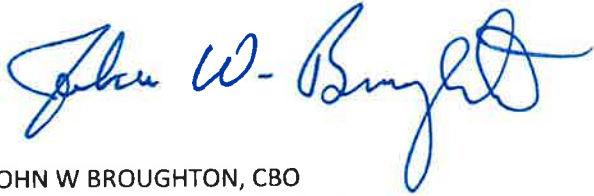
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EXHIBIT 2

INSPECTION WORKSHEET (INSP-213924-2022) FOR FRANKLIN COUNTY

Case Number: RES-06-2021-60354

Case Module: Permit

Inspection Date:

Inspection Status: Partial Pass

Inspector: Trevor Stanley

Inspection Type: Misc

Job Address: 197 Compass Cove Cir
Moneta, VA 24121

Parcel Number: 0481403700

Contact Type

Company Name

Name

Applicant

CRAIG CARON

Contractor

CRAIG CARON BUILDER

CRAIG ANTHONY CARON

Mechanics Lien

FIRST CHOICE TITLE & SETTLEMENT

Owner

LISA K and ROBERT GEARHART

Checklist Item

Results

Comments

Miscellaneous

Pass

7/22/22-TS

Provided second layer of air barrier over original damaged sections. Seams taped and overlapped.

Air barrier okay

EXHIBIT 3

INSPECTION WORKSHEET (INSP-205881-2021) FOR FRANKLIN COUNTY

Case Number: RES-06-2021-60354

Case Module: Permit

Inspection Date: 11/03/2021

Inspection Status: Passed

Inspector: Samuel Matherly

Inspection Type: Pre-Slab

Job Address:

Parcel Number: 0481403700

Contact Type

Applicant
Contractor
Mechanics Lien
Owner

Company Name

CRAIG CARON BUILDER
FIRST CHOICE TITLE

Name

CRAIG CARON
CRAIG ANTHONY CARON

LISA K and ROBERT GEARHART

Checklist Item

Miscellaneous

Results

Pass

Comments

EXHIBIT 4

FRANKLIN COUNTY BUILDING INSPECTIONS FINAL APPROVALS

PERMIT NO. :	60354		DATE ISSUED:	7.1.2021	
CONTACT:	Craig Caron		PHONE NO. :	540.871.0848	
JOB ADDRESS:	COMPASS COVE, LOT 37				
FOOTINGS/ FOUNDATIONS	PASS	DATE:	INSPECTOR	ELECTRICAL	PASS
PERIMETER HOUSE	✓	7/29/21	TS	TEMPORARY ELECTRIC	
GARAGE PERIMETER				PERMANENT POWER	
PIER FOOTINGS				BASEMENT / CRAWL	✓
FOUNDATION REBAR	✓	7-28-21	5NM	1ST FLOOR / GARAGE	✓
FOUNDATION BOLTS				2ND FLOOR	✓
DRAINTILE / SEALER	✓	8/11/21	TS	3RD FLOOR	
NOTES:					
SLABS	PASS	DATE:	INSPECTOR	MECHANICAL	PASS
BASEMENT / GRADE	✓	9/8/21	TS	BASEMENT / CRAWL	✓
GARAGE	✓	11-3-21	5NM	1ST FLOOR / GARAGE	
OTHERS:				2ND FLOOR	
OTHERS				3RD FLOOR	
NOTES:					
PLUMBING	PASS	DATE:	INSPECTOR		
GROUNDWORK	✓	8/26/21	TS		
BASEMENT / CRAWL				BUILDING	PASS
1ST FLOOR / GARAGE				BASEMENT / CRAWL	
2ND FLOOR				1ST FLOOR	
3RD FLOOR				2ND FLOOR	
NOTES:					
DECKS	PASS	DATE:	INSPECTOR		
PIER FOOTINGS FRONT					
PIER FOOTINGS REAR				INSULATION	PASS
OTHER FOOTINGS				BASEMENT / CRAWL	
LEDGER / FLASHING				1ST FLOOR / GARAGE	
DECK FRAMING FRONT				2ND FLOOR	
DECK FRAMING REAR				3RD FLOOR / ATTIC	
DECK FRAMING OTHER:				NOTES:	
NOTES:					
	PASS	DATE		INSPECTOR (SIGN)	
BUILDING FINAL					
NOTES:					