

FRANKLIN COUNTY
SPECIAL USE PERMIT APPLICATION

I/We Westlake Apartment Homes, LLC as Owner(s), Contract Purchasers, or Owner's Authorized Agent of the property described below, hereby apply to the Franklin County Board of Supervisors for a special use permit on the property described below:

Petitioner's Name: Westlake Apartment Homes, LLC

Petitioner's Address: POB 7038, Roanoke, VA 24019

Petitioner's Phone Number: 540-204-4247 or 540-537-5907

Petitioner's Email Address: kviar@rpfralininc.com

Property Owner's Name: Westlake Apartment Homes, LLC

Property Owner's Address: POB 7038, Roanoke, VA 24019

Property Owner's Phone Number: 540-204-4247 or 540-537-5907

Property Owner's Email Address: kviar@rpfralininc.com

Property Information:

A. Proposed Property Address: 200-240 Village Springs Drive, Hardy, VA 24101

B. Tax Map and Parcel Number: 0300000103A + 0300000103CC

C. Election District: Gills Creek

D. Size of Property: 5.86 acres 9.43 acres

E. Existing Zoning: PCD

F. Existing Land Use: Apartment complex

G. Is the property located within any of the following overlay zoning districts:

Corridor District Westlake Overlay District Smith Mountain Lake Surface District

H. Is any land submerged under water or part of Smith Mountain Lake? YES NO

I. If yes, please explain:

Proposed Special Use Permit Information:

J. Proposed Land Use: Petitioner wishes to amend condition 4 of the existing Special Use Permit as follows: change the number allowable building permits for multi-family dwelling units from 72 to 96.

K. Size of Proposed Use: 5.86 acres

L. Other Details of Proposed Use: _____

Checklist for Completed Items:

- Application Form
- Letter of Application
- Concept Plan
- Application Fee

I certify that this application for a special use permit and the information submitted is herein complete and accurate.

Petitioner's Name (Printed): Robert P. Fralin

Petitioner's Signature: 

Date: 09-05-2023

Mailing Address: POB 7038, Roanoke, VA 24019

Phone Number: 540-204-4247 or 540-537-5907

Email Address: kviar@rpfralininc.com

Owner's consent, if petitioner is not property owner:

Owner's Name: _____

Owner's Signature: _____

Date: _____

Date Received by Planning Staff: _____



September 5, 2023

Department of Planning and Community Development
Lisa Cooper and Tina Franklin
1255 Franklin Street, Suite 103
Rocky Mount, VA 24151

Re: Tax Map Parcels 0300000103A and 0300000193C

Dear Ms. Cooper and Ms. Franklin:

Please accept this Letter of Application to amend condition 4 of the existing Special Use Permit, as follows: change the number allowable building permits for multi-family dwelling units from 72 to 96.

At the time of the amendment in 2019, the Franklin County and, more specifically, the Smith Mountain Lake rental apartment housing market was unproven. Thus far, based on the demand for our initial 48 apartment homes, the market for quality workforce housing has exceeded expectations. It is imperative to finish Phase 1 of the project now, as demand for units remains high (we have a waiting list), nearly all of the approved development work is complete, and the site is ready for the final 24 units. In addition, long-term financing from federally backed home mortgage lenders is unavailable to the developer until the parcel is fully built out. This type of financing is critical for multi-family housing developers and landlords to stabilize a community.

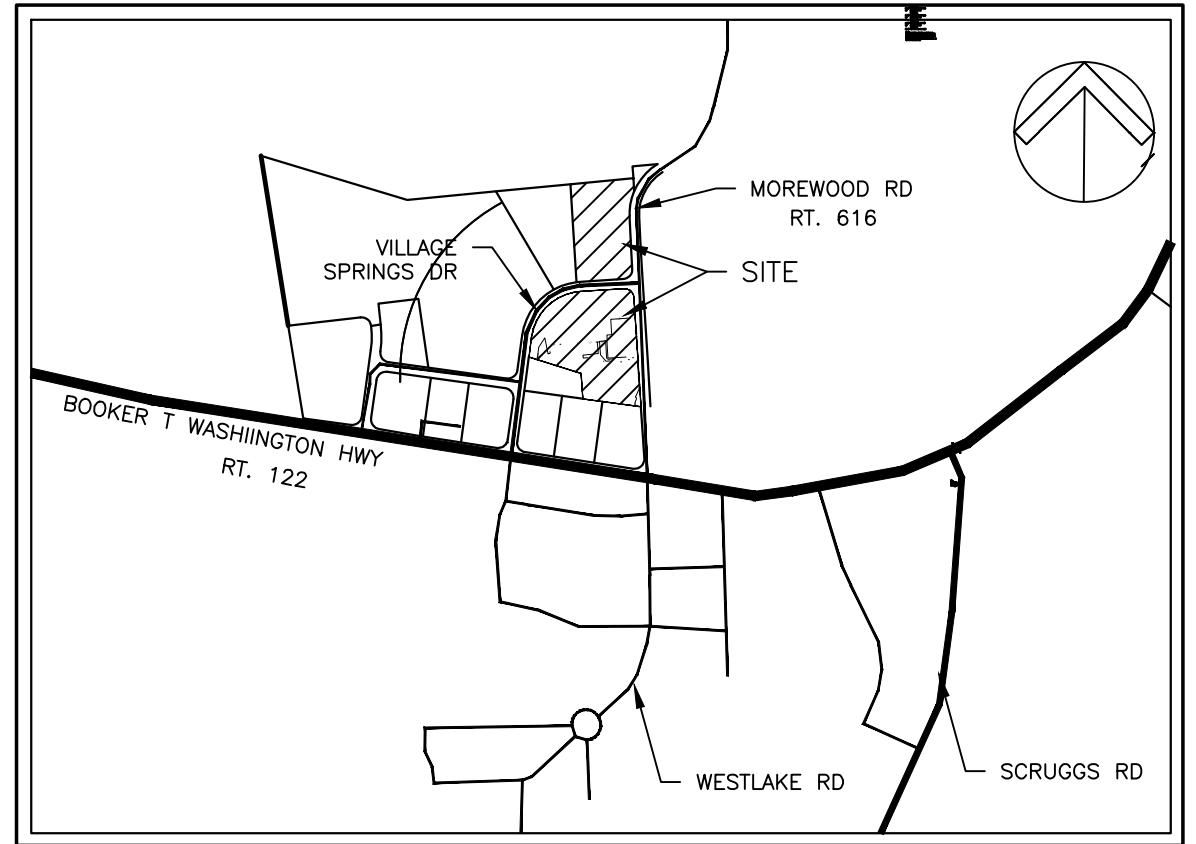
The intent of the amendment is to allow completion of Phase 1 of the project, while simultaneously protecting the interests of Franklin County. We hope Franklin County finds the amendment to be a practical solution and allows all parties to reach their mutual goals.

Please notify me if there are questions. Thank you for considering this amendment.

Sincerely,

Robert P. Fralin, Manager
Westlake Apartment Homes, LLC

SITE INFORMATION



WESTLAKE VILLAGE APARTMENTS, PHASE 1

VILLAGE SPRINGS DRIVE
GILLS CREEK DISTRICT
FRANKLIN COUNTY, VA

SHEET INDEX

- C1 COVER SHEET
- C2 EXISTING CONDITIONS & DEMO. PLAN
- C3 LAYOUT PLAN
- C4 UTILITY PLAN
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- C8 ESC NOTES
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- C10 SANITARY PROFILES
- C11 OFF-SITE S.S. EXTENSION
- C12 STORM PROFILES
- C13 LANDSCAPE PLAN
- C14 SITE DETAILS 1
- C15 SITE DETAILS 2
- C16 WATER & SEWER DETAILS
- C17 LIFT STATION SPECIFICATIONS
- C18 GENERAL NOTES
- C19 LIGHTING PLAN

VICINITY MAP

1" = 1000'

STANDARD FRANKLIN COUNTY CONSTRUCTION NOTES

- I. FRANKLIN COUNTY CASE #16266 - PARCEL #030000103 & 030000103A
2. THE FRANKLIN COUNTY DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT MUST BE NOTIFIED IN WRITING FIVE (5) BUSINESS DAYS PRIOR TO COMMENCING WITH CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING. SEE THE SEQUENCE OF CONSTRUCTION FOR DETAILS. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED PLANS.
3. THE REGISTERED LAND DISTURBER (RLD) OR THEIR SITE REPRESENTATIVE WILL BE REQUIRED TO MAINTAIN AND UPDATE THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AS NECESSARY. THE SWPPP MUST REMAIN AVAILABLE FOR INSPECTION AT ALL TIMES.
4. THE FRANKLIN COUNTY DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT EROSION AND SEDIMENT CONTROL/STORMWATER MANAGEMENT (ESC/SWM) SITE INSPECTOR MUST BE NOTIFIED IN WRITING FORTY-EIGHT (48) HOURS IN ADVANCE OF THE CONSTRUCTION OF ANY CRITICAL COMPONENTS OF ALL ESC/SWM INSTALLATIONS (AND NOTED DATES IN THE SWPPP).
5. FRANKLIN COUNTY DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT RESERVES THE RIGHT TO ALTER THESE PLANS, DURING THE CONSTRUCTION PHASE AND AS FIELD CONDITIONS MAY WARRANT, CHANGES TO THE CONSTRUCTION PLANS MUST HAVE FRANKLIN COUNTY APPROVAL PRIOR TO THE WORK BEING DONE (AND NOTED CHANGES/DATES WILL BE ADDED TO THE SWPPP).
6. APPROVAL OF THESE PLANS BY FRANKLIN COUNTY DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT IS NOT A REPRESENTATION, GUARANTEE OR WARRANTY OF ANY KIND AND SHALL CREATE NO LIABILITY UPON THE COUNTY, ITS OFFICIALS OR EMPLOYEES.
7. APPROVED PLANS REMAIN VALID FOR THE CURRENT 2014 VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY PERMIT CYCLE ONLY (5 YEAR PERMIT CYCLE).
8. WHERE APPLICABLE, AN AS-BUILT/RECORD PLAN SHALL BE PROVIDED TO THE FRANKLIN COUNTY DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT WITHIN SIXTY (60) DAYS AFTER COMPLETION OF CONSTRUCTION FOR APPROVAL. THE ESC/SWM SURETY (LETTER OF CREDIT, PERFORMANCE BOND, OR ESCROW ACCOUNT) WILL NOT BE FULLY RELEASED UNTIL ALL ITEMS HAVE BEEN APPROVED AS CONSTRUCTED.

ABBREVIATIONS

AHFH	ARROW HEAD TOP OF FIRE HYDRANT	EVCS	END VERT. CURVE STA.	RR	RAILROAD
APPROX	APPROXIMATE	EW	ENDWALL	RYS	REAR YARD SETBACK
ASPH	ASPHALT	EXIST	EXISTING	SAN	SANITARY
BC	BACK OF CURB	FDN	FOUNDATION	SBL	SOUTH BOUND LANE
BIT	BITUMINOUS	FF	FINISHED FLOOR	SD	STORM DRAIN
BLDG	BUILDING	FG	FINISH GRADE	SECT	SECTION
BLK	BLOCK	GBE	GRADE BREAK ELEVATION	SE	SLOPE EASEMENT
BM	BENCHMARK	GBS	GRADE BREAK STATION	SS	SANITARY SEWER
BS	BOTTOM OF BOTTOM STEP	HOA	HOMEOWNERS ASSOCIATION	SSD	STOPPING SIGHT DISTANCE
BVCE	BEGIN VERT. CURVE ELEV.	HPT	HIGH POINT	SSE	SANITARY SEWER EASEMENT
BVCS	BEGIN VERT. CURVE STA.	HSD	HEADLIGHT SIGHT DISTANCE	STA	STATION
BW	BOTTOM OF WALL	INTX	INTERSECTION	STD	STANDARD
CB	CINDER BLOCK	INV	INVERT	STO	STORAGE
C&G	CURB & GUTTER	IP	IRON PIN	SYS	SIDE YARD SETBACK
CMP	CORRUGATED METAL PIPE	LT	LEFT	TBM	TEMPORARY BENCHMARK
CONC	CONCRETE	LVC	LENGTH OF VERTICAL CURVE	TBR	TO BE REMOVED
COR	CORNER	MH	MANHOLE	TC	TOP OF CURB
DBL	DOUBLE	MIN	MINIMUM	TEL	TELEPHONE
DEFL	DEFLECTION	MBL	MINIMUM BUILDING LINE	TRANS	TRANSFORMER
DI	DROP INLET	MON	MONUMENT	TS	TOP OF TOP STEP
DIA	DIAMETER	NBL	NORTH BOUND LANE	TW	TOP OF WALL
DE	DRAINAGE EASEMENT	PROP	PROPOSED	TYP	TYPICAL
ELEC	ELECTRIC	PUE	PUBLIC UTILITY EASEMENT	VDOT	VIRGINIA DEPARTMENT OF TRANSPORTATION
ELEV	ELEVATION	PVMT	PAVEMENT		
ENTR	ENTRANCE	R	RADIUS	VERT	VERTICAL
EP	EDGE OF PAVEMENT	RT	RIGHT	WBL	WEST BOUND LANE
EVCE	END VERT. CURVE ELEV.	R.O.W.	RIGHT OF WAY	YD	YARD
		REQD	REQUIRED		

OWNER / DEVELOPER CERTIFICATION

I, _____ HEREBY ACKNOWLEDGE THE SITE IMPROVEMENTS IMPOSED BY THIS PLAN AND FRANKLIN COUNTY. I HEREBY AGREE TO DEVELOP THE SUBJECT PROPERTY IN COMPLIANCE WITH THIS PLAN AND WILL SUBMIT ANY PLAN REVISIONS TO FRANKLIN COUNTY FOR APPROVAL. I AGREE TO POST ALL REQUIRED BONDS WITH THE COUNTY FOR THIS DEVELOPMENT AND ACKNOWLEDGE ALL IMPROVEMENTS MUST BE COMPLETED TO THE TOWN'S SATISFACTION PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

OWNER / DEVELOPER

APPROVAL BLOCK

SITE INFORMATION

OWNER:	WESTLAKE HOLDINGS, LLC 1617 A CRYSTAL SHORES DRIVE MONEA, VA 24121
DEVELOPER:	WESTLAKE APARTMENT HOMES, LLC P.O. BOX 2086 ROANOKE, VA 24018 PHONE: (540) 204-4247 EMAIL: rfrolin@frecorp.com
EXISTING USE:	VACANT
ZONING:	PCD - PLANNED COMMERCIAL DEVELOPMENT *MULTI FAMILY SPECIAL USE PERMIT *WESTLAKE VILLAGE CENTER OVERLAY DISTRICT
PARCEL ID:	0300000103 & 0300000103A
TOTAL PROPERTY AREA:	5.86 AC (PHASE 1)
TOTAL DISTURBED AREA:	279,000 SF (±6.4 AC)
TOTAL MULTI-FAMILY AREA (PER REZONING):	15.8 AC

ZONING REGULATIONS

PROPOSED USE:	MULTI-FAMILY DWELLINGS
MIN. LOT AREA:	NONE
MAXIMUM NUMBER OF UNITS (PER REZONING):	250 UNITS (15.8 UNITS/AC)
PROPOSED NUMBER OF UNITS:	96 UNITS (16.3 UNITS/AC)
MINIMUM LOT WIDTH:	100 FT
MINIMUM YARDS:	FRONT: 55' TO CENTERLINE OF PUBLIC R.O.W., 30' TO EDGE OF PUBLIC R.O.W. FOR NON-PRIMARY ROAD SIDE: NONE REAR: NONE
MAXIMUM BUILDING HEIGHT:	70'
PROPOSED BUILDING HEIGHT:	36'

PARKING CALCULATIONS:

PARKING REQUIRED:	1.5 SPACES PER UNIT 96 UNITS PROPOSED = 144 SPACES REQUIRED
PARKING PROPOSED:	144 TOTAL SPACES PROPOSED
HANDICAP PARKING REQUIRED:	5 SPACES
HANDICAP PARKING PROPOSED:	8 SPACES

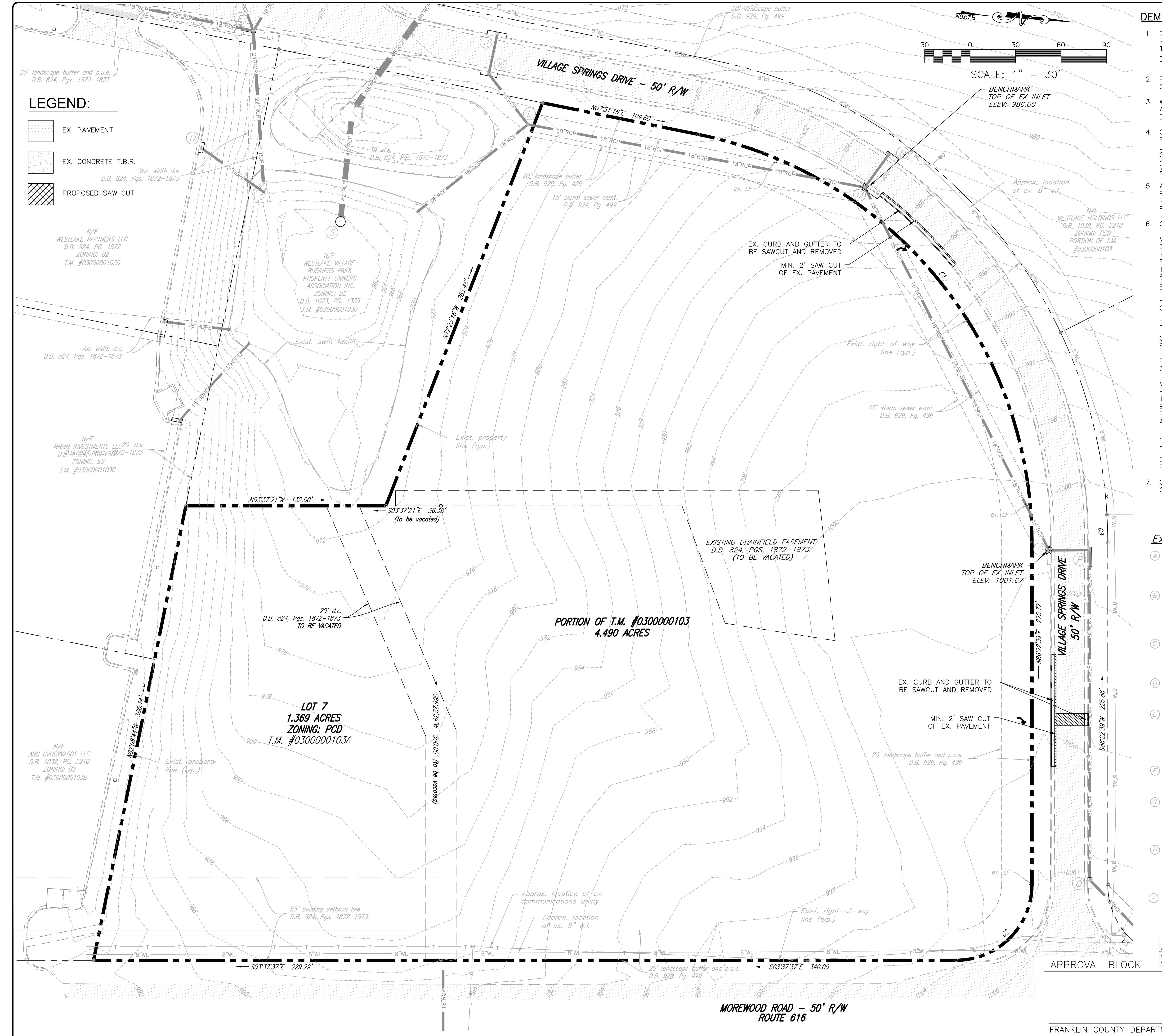
SPECIAL USE PERMIT CONDITIONS

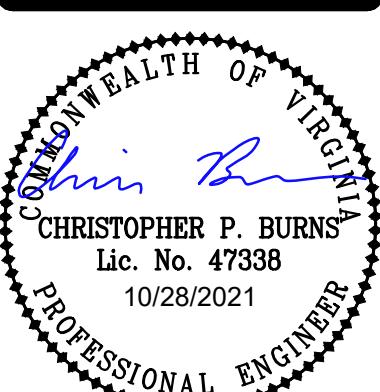
1. THE PROJECT SHALL GENERALLY CONFORM TO THE DESIGN ELEMENTS AND STANDARDS PRESENTED AS A PART OF THE SUBMITTED PCD CONCEPT PLAN (REZONING EXHIBITS A-C), DATED AUGUST 3, 2018 AND THE WESTLAKE VILLAGE CENTER OVERLAY DISTRICT, HOWEVER, MAXIMUM ALLOWED SINGLE-FAMILY UNITS SHALL BE 25 UNITS. WHERE CONFLICTS MAY EXIST BETWEEN THESE TWO DOCUMENTS, THE MORE STRINGENT STANDARD SHALL APPLY.
2. NO TRAFFIC GENERATED BY MULTI-FAMILY UNITS SHALL HAVE DIRECT VEHICLE ACCESS TO MOREWOOD ROAD (STATE ROUTE 616). ALL INTERNAL MULTI-FAMILY TRAFFIC WILL USE VILLAGE SPRING DRIVE AS A POINT OF INGRESS AND EGRESS.
3. WALKWAYS WILL BE DESIGNED AND DEVELOPED TO (1) INTERCONNECT BUILDINGS AND OPEN SPACE AREAS IN THE MULTI-FAMILY AREAS (2) CONNECT THE MULTI-FAMILY AND SINGLE FAMILY AREAS, AND (3) CONNECT THE RESIDENTIAL AREAS WITH THE COMMERCIAL AREAS ALONG ROUTE 122. WALKWAYS WITHIN OR ADJACENT TO A PUBLIC RIGHT-OF-WAY SHALL BE CONCRETE SIDEWALKS WITH A WIDTH CONSISTENT WITH OTHER SIDEWALKS IN THE AREA. WALKWAYS THAT INTERCONNECT BUILDINGS AND OPEN SPACE AREAS SHALL BE CONSTRUCTED OF A LOW MAINTENANCE SURFACE MATERIAL SUCH AS COMPAKED GRAVEL OR PAVEMENT.
4. SURETY IN THE FORM OF A BOND OR LETTER OF CREDIT FOR ROAD IMPROVEMENTS WILL BE POSTED FOR THE PORTION OF VILLAGE SPRINGS DRIVE LOCATED BETWEEN MOREWOOD ROAD AND BROOKVIEW LANE BASED ON AN ENGINEER'S ESTIMATE FOR IMPROVING ROAD AND PROVIDING CONCRETE SIDEWALKS TO CURRENT VDOT STANDARDS BEFORE ANY BUILDING PERMIT IS ISSUED ON PROPERTY DESCRIBED AS TAX ID #0300000103A OR TAX ID #0300000103C, WITHIN THREE MONTHS OF THE FIRST CERTIFICATE OF OCCUPANCY BEING ISSUED THE PROPERTY OWNER SHALL PETITION VDOT TO ACCEPT THIS PORTION OF VILLAGE SPRINGS DRIVE INTO THE STATE MAINTENANCE PROGRAM. BUILDING PERMITS SHALL BE LIMITED TO NO MORE THAN 72 MULTI-FAMILY DWELLING UNITS UNTIL SUCH TIME AS THIS PORTION OF VILLAGE SPRINGS DRIVE IS ACCEPTED BY VDOT. ADDITIONAL BUILDING PERMITS FOR TWENTY-FOUR (24) ADDITIONAL DWELLING UNITS MAY BE ISSUED DURING THE WARRANTY PERIOD FOR THE ROADWAY. BUILDING PERMITS FOR DWELLING UNITS ABOVE NINETY-SIX (96) WILL NOT BE APPROVED UNTIL SUCH TIME AS AN UPDATED TRAFFIC STUDY HAS BEEN COMPLETED TO DETERMINE ANY NECESSARY ROAD IMPROVEMENTS AND THE REMAINDER OF VILLAGE SPRINGS DRIVE HAS BEEN ACCEPTED INTO THE VDOT SYSTEM. PHYSICAL TURNING RESTRICTIONS OF PHASE 1 DEVELOPMENT SHALL BE REMOVED BY OWNER WITHIN SIX (6) MONTHS OF ALL OF VILLAGE SPRINGS DRIVE BEING ACCEPTED IN THE VDOT SYSTEM.
5. TWENTY-FIVE PERCENT (25%) OF ALL GROUND LEVEL MULTI-FAMILY AND SINGLE-FAMILY DWELLINGS SHALL INCORPORATE AT LEAST (3) THREE FEATURES OF THE UNIVERSAL VISIBILITY STANDARDS OR INCLUDE AT LEAST (3) THREE ACCESSIBILITY FEATURES IN ACCORDANCE WITH THE VIRGINIA LIVABLE HOME TAX CREDIT PROGRAM. ALL ACCESSIBILITY AND UNIVERSAL VISIBILITY FEATURES MUST BE COMPLETED IN CONFORMITY WITH THE PROVISIONS OF VIRGINIA'S UNIFORM STATEWIDE BUILDING CODE. THIS DEVELOPMENT SHALL MEET THE FOLLOWING STANDARDS OF VISIBILITY:
 - A. ACCESSIBLE ROUTE TO ZERO-STEP ENTRANCE ON A FIRM SURFACE NO STEEPED THAN 1:12 FROM A DRIVeway OR PUBLIC SIDEWALK
 - B. ZERO-STEP ENTRANCE
 - C. DOORS WITH AT LEAST 32 INCHES OF CLEAR WIDTH
 - D. HALLWAYS AND PASSAGES WITH AT LEAST 36 INCHES OF CLEAR WIDTH
 - E. ACCESSIBLE LIGHT SWITCHES, ELECTRICAL OUTLETS, AND ENVIRONMENTAL CONTROLS
 - F. ACCESSIBLE BATHROOM
 - G. ACCESSIBLE AND USABLE KITCHEN FACILITIES
6. ARCHITECTURAL PROFFERS:
 - A. ALL "STREETSCAPES" SHALL BE DEVELOPED IN GENERAL CONFORMITY WITH THE "ILLUSTRATIVE ARCHITECTURAL STYLE" AS SHOWN IN REZONING EXHIBIT "C", DATED 8/3/18.
 - B. THE BUILDING SHALL HAVE ARCHITECTURAL FAÇADES LIKE THE EXISTING WESTLAKE TOWNE CENTER.
 - C. VERTICAL METAL SIDING SHALL BE PROHIBITED ON ANY FAÇADE.
 - D. THE DESIGN OF ANY FUTURE BUILDING SHALL RELATE TO ADJACENT DEVELOPMENT THAT IS CONTRIBUTING TO THE CHARACTER OF WESTLAKE-HALES FORD VILLAGE AREA USING COMPLEMENTING FORMS AND MATERIALS TO CREATE CONTINUITY WITHIN THE VILLAGE AREA. MATERIALS FOR EXTERIOR WALLS MAY INCLUDE (BUT NOT LIMITED TO) MASONRY, COMMERCIAL GRADE VINYL AND OTHER LOW MAINTENANCE FAÇADES. STRUCTURES SHALL CONTAIN MASONRY MATERIALS ON AT LEAST TWENTY PERCENT (20%) OF THE ENTIRE STRUCTURE AND ALL SIDES OF STRUCTURES FACING PUBLIC STREETS SHALL HAVE MASONRY MATERIALS.
 - E. ROOFING MATERIALS FOR PITCHED ROOFS SHALL BE METAL OR COMPOSITE SHINGLE. FLAT ROOFS SHALL HAVE A PARAPET WALL TALL ENOUGH IN HEIGHT TO SCREEN ANY ROOF MOUNTED MECHANICAL EQUIPMENT. BUILDINGS WITH FLAT ROOFS SHALL HAVE A DECORATIVE CORNICE AT THE TOP OF ALL WALLS.
 - F. ARCHITECTURAL DETAILS SHALL CLOSELY RESEMBLE THOSE SHOWN IN EXHIBIT "C" OR PROVIDE SIMILAR FEATURES.
 - G. BUILDING ELEVATIONS SHALL BE INCLUDED WITH ANY SITE PLAN SUBMISSION.
7. PROPERTY OWNER SHALL SUBMIT A PLAN TO ENSURE THE PERPETUAL AND PROPER CARE AND MAINTENANCE OF PROPERTY, PARKING AREAS, BUILDINGS, LANDSCAPING, AND STORM WATER MANAGEMENT FACILITIES PRIOR TO SITE PLAN APPROVAL. SUCH PLAN SHALL BE REVIEWED AND APPROVED BY THE ZONING ADMINISTRATOR PRIOR TO APPROVAL OF SITE PLAN. PLAN SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:
 - A. GRASS AND VEGETATION, IN AREAS OF THE SITE THAT HAVE BEEN DEVELOPED OR USED FOR RECREATION, ARE KEPT AT A HEIGHT NO GREATER THAN (8) EIGHT INCHES.
 - B. NO INOPERABLE OR UNLICENSED VEHICLES SHALL BE LOCATED ON THE PROPERTY.
 - C. BUILDINGS, SIDEWALKS AND PARKING LOTS ARE ALWAYS IN GOOD REPAIR AND SAFE FOR PUBLIC.

WESTLAKE VILLAGE APARTMENTS

EXISTING CONDITIONS & DEMO. PLAN

 DRAWN BY CPB
 DESIGNED BY CPB
 CHECKED BY BTC
 DATE 4/30/2019
 SCALE 1"=30'
 REVISIONS 7/11/2019
 8/30/2019
 10/30/2019
 12/31/2019
 3/24/2020
 9/28/2020

 GILLS CREEK DISTRICT
 FRANKLIN COUNTY, VIRGINIA




WESTLAKE VILLAGE APARTMENTS

LAYOUT PLAN

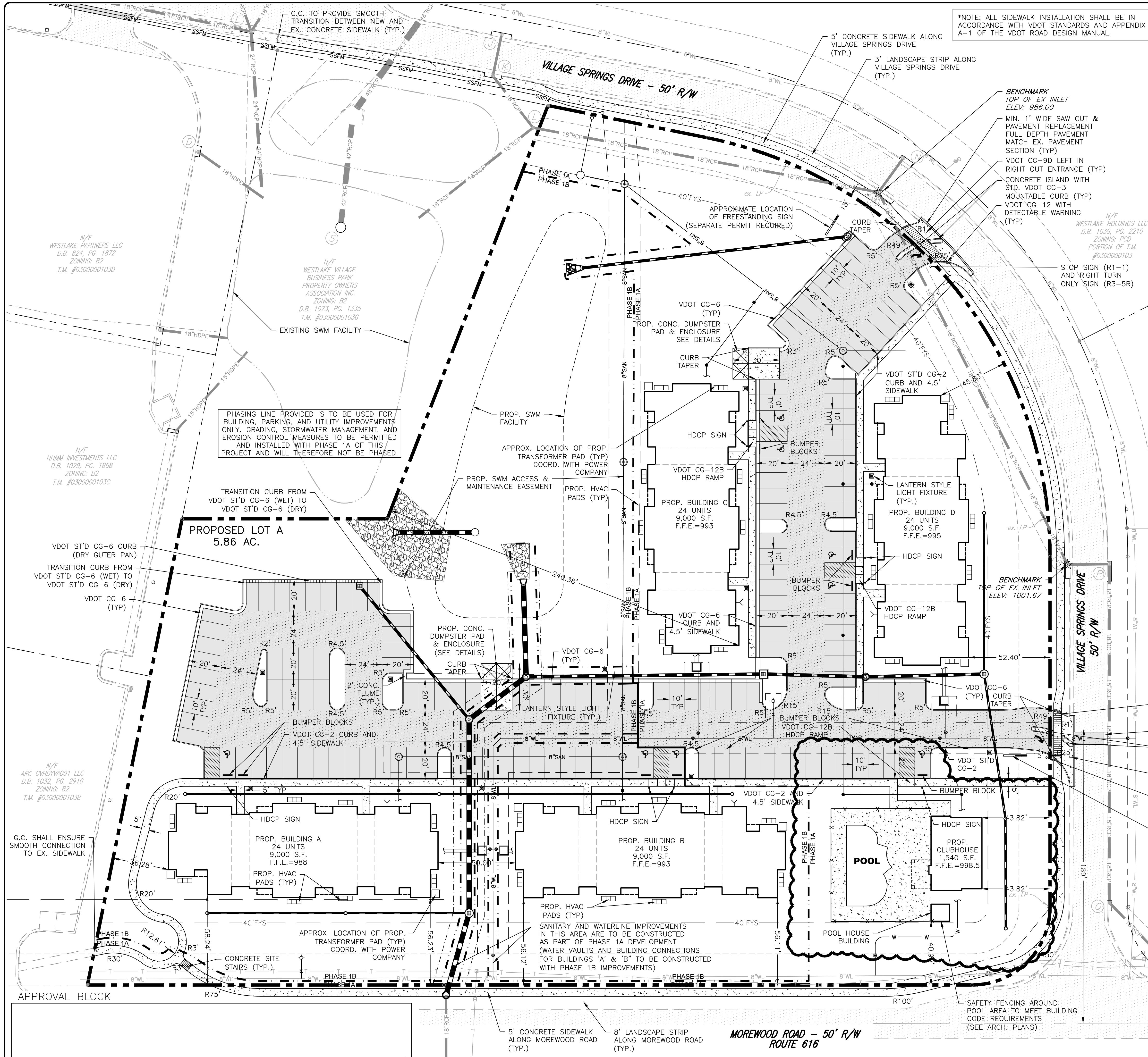
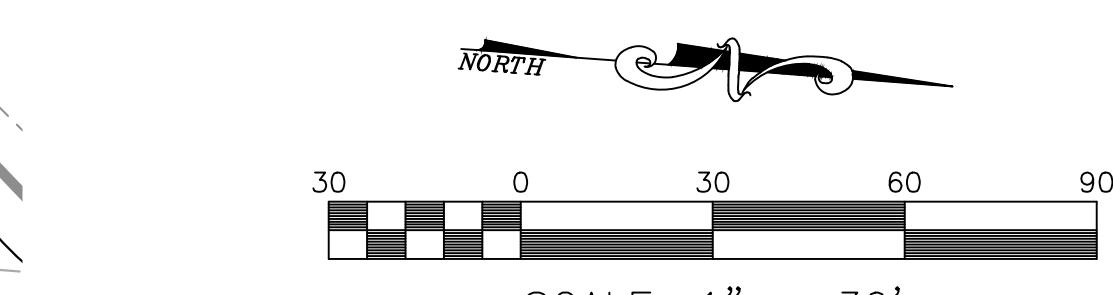
DRAWN BY CPB
DESIGNED BY CPB
CHECKED BY BTC
DATE 4/30/2019
SCALE 1" = 30'
REVISIONS 7/11/2019
8/30/2019
10/30/2019
12/31/2019
1/27/2020
9/28/2020
3/9/2021
10/28/2021

GENERAL SITE NOTES:

1. NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, OWNER, VDOT, AND FRANKLIN COUNTY.
2. G.C. TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION OF PROPOSED IMPROVEMENTS.
3. ANY PAVEMENT TO REMAIN THAT IS DISTURBED OR DESTROYED DURING THE CONSTRUCTION PROCESS SHALL BE REPAIRED/REPLACED AS NECESSARY TO PRE-CONSTRUCTION CONDITIONS AT NO COST TO THE OWNER.
4. ALL BUILDING DIMENSIONS AND UTILITY TIE IN LOCATIONS AND UTILITY SIZING SHALL BE COORDINATED WITH THE ARCHITECTURAL & M.E.P. PLANS.
5. ALL ROOF LEADERS SHALL DISCHARGE TO SPLASH BLOCKS ON GRADE AND ALL RUNOFF SHALL BE DIRECTED TO THE PROPOSED STORM SEWER INLETS ON-SITE.
6. G.C. SHALL COORDINATE WITH ALL LOCAL UTILITY PROVIDERS IN REGARDS TO CONNECTION LOCATIONS & SERVICE AVAILABILITY AND REQUIREMENTS OF THE PROPOSED SITE.
7. THE SITE CONTRACTOR MUST COORDINATE THE TIMING AND INSTALLATION OF ALL UTILITIES AND MAKE ALL NECESSARY SCHEDULE ARRANGEMENTS FOR TEMPORARY OR PERMANENT UTILITIES PER THE PROJECT SCHEDULE.
8. ALL SIGNAGE PROPOSED AS PART OF THIS PROJECT WILL REQUIRE A SEPARATE PERMIT FROM FRANKLIN COUNTY.
9. ALL EXTERIOR LIGHTING FIXTURES SHALL BE GLARE SHIELDED AND DESIGNED TO PREVENT ILLUMINATION BEYOND THE PROPERTY LINE. IN NO INSTANCE SHALL LIGHT POLES EXCEED TWENTY-FIVE (25) FEET IN HEIGHT. NO EXTERIOR LIGHTING SHALL RADIATE ABOVE A LEVEL THAT IS FIVE DEGREES (5°) BELOW HORIZONTAL.
10. ALL REFUSE SERVICE (DUMPSTERS/CONTAINERS), OUTDOOR STORAGE AREAS, AND GROUND LEVEL AND ROOFTOP MECHANICAL EQUIPMENT SHALL BE SCREENED FROM SURROUNDING VIEWS PER SECTION 25-495. OF THE FRANKLIN COUNTY ZONING ORDINANCE. PRIOR TO ANY DUMPSTER ENCLOSURE CONSTRUCTION, THE G.C. SHALL VERIFY THE SIZE OF THE PROPOSED DUMPSTER TO ENSURE THE PROPOSED ENCLOSURE IS ADEQUATELY SIZED FOR THE DUMPSTER. G.C. SHALL ENSURE THAT ALL GROUND MOUNTED ELECTRICAL/MECHANICAL EQUIPMENT IS INSTALLED IN SUCH A WAY AS TO ALLOW FOR THE INSTALLATION OF VEGETATIVE SCREENING AS REQUIRED.
11. G.C. SHALL PROVIDE MINIMUM 1' SAW CUT AND SHALL TACK COAT ALL VERTICAL SURFACES WHERE THE PROPOSED PAVEMENT ABUTS THE EXISTING MAINLINE PAVEMENT. THE SAW CUT SHALL BE ALONG THE FULL DEPTH PAVEMENT, NOT THE SHOULDER PORTION OF THE ROADWAY. NO CONVEYANCE OF RUNOFF WILL BE PERMITTED ALONG A SEAM IN THE PAVEMENT.
12. THE PROPOSED FIRE DEPARTMENT CONNECTION (F.D.C.) SHALL BE W/I 50' OF THE PROPOSED FIRE HYDRANT INDICATED ON THE CIVIL SITE PLANS. G.C. SHALL COORDINATE THE F.D.C. CONNECTION LOCATION WITH THE ARCH. & M.E.P. PLANS AS REQUIRED. THE F.D.C. SHALL BE LOCATED DOWNSTREAM OF THEIR ASSOCIATED BACKFLOW PREVENTION ASSEMBLIES.
13. G.C. SHALL BE RESPONSIBLE FOR PROVIDING ALL REQUIRED CONDUIT FOR ALL EXTERIOR ELECTRICAL AND LIGHT POLES CONNECTIONS.
14. ALL PROPOSED UTILITIES SHALL BE PLACED UNDERGROUND.
15. G.C. SHALL ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
16. G.C. SHALL COORDINATE ANY TRAFFIC CONTROL MEASURES WITH VDOT AND/OR FRANKLIN COUNTY FOR ANY WORK WITHIN THE PUBLIC R.O.W.
17. ALL PARKING SPACE STRIPING SHALL BE 4" WIDE WHITE TRAFFIC PAINT (TWO COATS).

PAVEMENT LEGEND:

- STANDARD DUTY PAVEMENT
- HEAVY DUTY PAVEMENT
- CONCRETE
- VDOT CG-12 WITH DETECTABLE WARNING (TYP)
- REPLACE EX. CURB AND GUTTER AS NECESSARY
- CONCRETE ISLAND WITH STD. VDOT CG-3 MOUNTABLE CURB (TYP)
- VDOT CG-9D LEFT IN RIGHT OUT ENTRANCE (TYP)
- STOP SIGN (R1-1) AND RIGHT TURN ONLY SIGN (R3-5R)
- APPROX. LOCATION OF FREESTANDING SIGN (SEPARATE PERMIT REQUIRED)



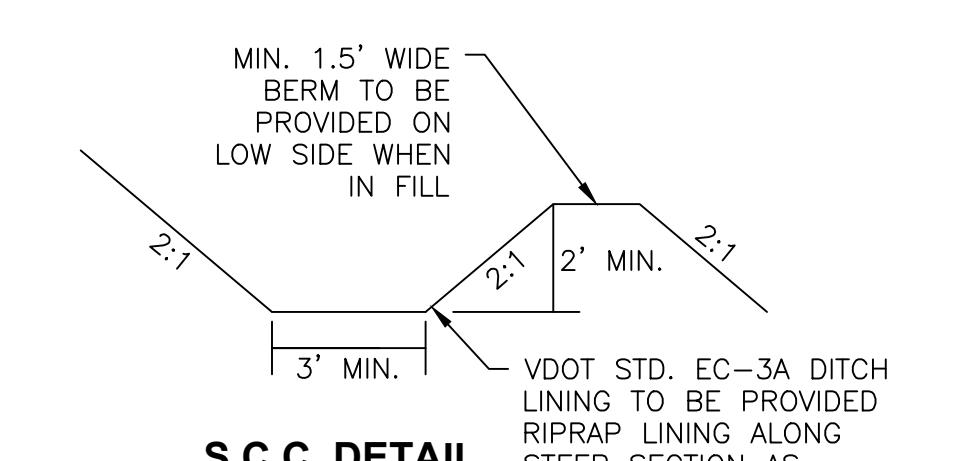
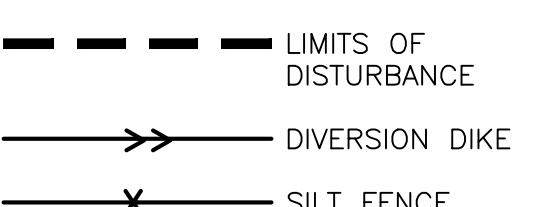
PHASE 1 CONSTRUCTION SEQUENCE:

1. THE SWPPP SHALL BE PROVIDED ON-SITE AND ALL REGULATIONS, INSPECTIONS, AND PROCEDURES FOLLOWED FOR THE ENTIRE DURATION OF THE PROJECT. SEE GENERAL PERMIT DETAILS FOR ADDITIONAL INFORMATION AND SWPPP FOR SITE SPECIFIC REQUIREMENTS AND INSPECTIONS.
2. THE CONTRACTOR SHALL CONTACT FRANKLIN COUNTY DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT - SEDIMENT AND EROSION CONTROL INSPECTOR IN WRITING A MINIMUM OF FIVE (5) BUSINESS DAYS IN ADVANCE OF THE PRE-CONSTRUCTION MEETING. FAILURE TO DO SO MAKES IS A VIOLATION OF APPROVED PLAN AND IS A FINABLE OFFENSE. CONTACT INFORMATION IS AS FOLLOWS:
EMAIL: TINA.FRANKLIN@FRANKLINCOUNTYVA.GOV
PHONE: (540) 483-3027 (EXT. 2427)
3. THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED AS A FIRST STEP IN CONSTRUCTION. THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. G.C. SHALL PAY SPECIAL ATTENTION TO ENSURE SEDIMENT LADEN RUNOFF IS NOT DIRECTED TOWARDS VILLAGE SPRINGS DRIVE AND THERE SHALL BE NO MUD 'TRACKING' FROM THE SITE INTO THE PUBLIC RIGHT OF WAY.
4. INLET PROTECTION SHALL BE INSTALLED FOR THE EXISTING INLETS UNTIL SUCH TIME THAT THE PROJECT IS COMPLETE OR INLET IS REMOVED. THE PIPE SYSTEM SHALL BE PROTECTED FOR THE DURATION OF THE PROJECT FROM SEDIMENT LADEN RUNOFF.
5. SILT FENCE TO BE INSTALLED AS SHOWN. THE SILT FENCE SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. THE R.L.D. ASSIGNED TO THE PROJECT SHALL ENSURE ALL REGULATIONS ARE FOLLOWED AND DOCUMENTED THROUGHOUT THE ENTIRE PROJECT TO PREVENT THE EXCESSIVE BUILD-UP OF SEDIMENT.
6. THE SEDIMENT BASIN SHALL BE INSTALLED AS SHOWN. SEE DETAILS ON SHEET C9. THE DIVERSION DIKES SHALL BE INSTALLED AS SHOWN TO DIRECT ON-SITE RUNOFF TO THE SEDIMENT TRAPS.
7. THE STORMWATER CONVEYANCE CHANNEL SHALL BE INSTALLED TO DIRECT OFF-SITE RUNOFF AROUND THE PERIMETER OF THE SITE. THIS RUNOFF SHALL NOT BE CONVEYED TO THE SEDIMENT BASIN. CHECK DAM SHALL BE PROVIDED AT OUTLET.
8. THE DIVERSION DIKES SHALL BE INSTALLED AS SHOWN. FILL MATERIAL SHALL BE PROVIDED AS NECESSARY TO ENSURE POSITIVE DRAINAGE TO THE SEDIMENT BASIN.
9. STRIP TOPSOIL AND STORE IN LOCATION SHOWN.
10. TEMPORARY SEEDING SHALL BE PROVIDED FOR ALL AREAS THAT WILL NOT RECEIVE PAVEMENT OR OTHER PERMANENT IMPROVEMENTS WITHIN SEVEN DAYS.
11. G.C. SHALL ENSURE THAT THE LIMITS OF DISTURBANCE ARE STRICTLY ADHERED TO DURING THE PROJECT.
12. NO DEVIATIONS FROM THE PLANS SHALL TAKE PLACE UNLESS PRIOR APPROVAL FROM THE OWNER, PROJECT ENGINEER, AND THE APPROPRIATE REVIEW AGENCIES.
13. SEE SHEET C7 FOR PHASE II OF THE EROSION AND SEDIMENT CONTROL PLAN.

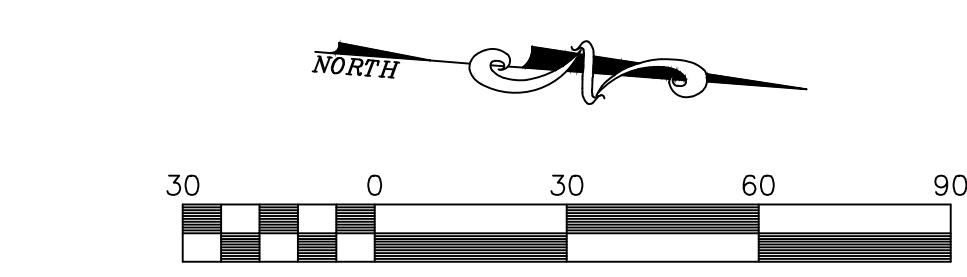
E&SC MEASURES

3.02	TEMPORARY STONE CONSTRUCTION ENTRANCE
3.05	SILT FENCE
3.07	STORM DRAIN INLET PROTECTION
3.09	TEMPORARY DIVERSION DIKE
3.14	TEMPORARY SEDIMENT BASIN
3.17	STORMWATER CONVEYANCE CHANNEL
3.18	OUTLET PROTECTION
3.20	ROCK CHECK DAM
3.31	TEMPORARY SEEDING
3.36	SOIL STABILIZATION BLANKETS & MATTING

E&SC LEGEND

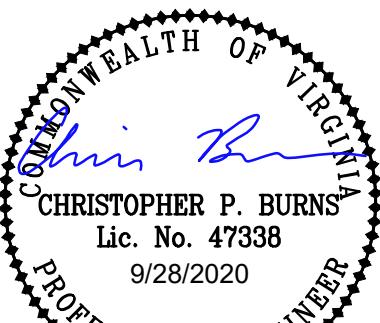


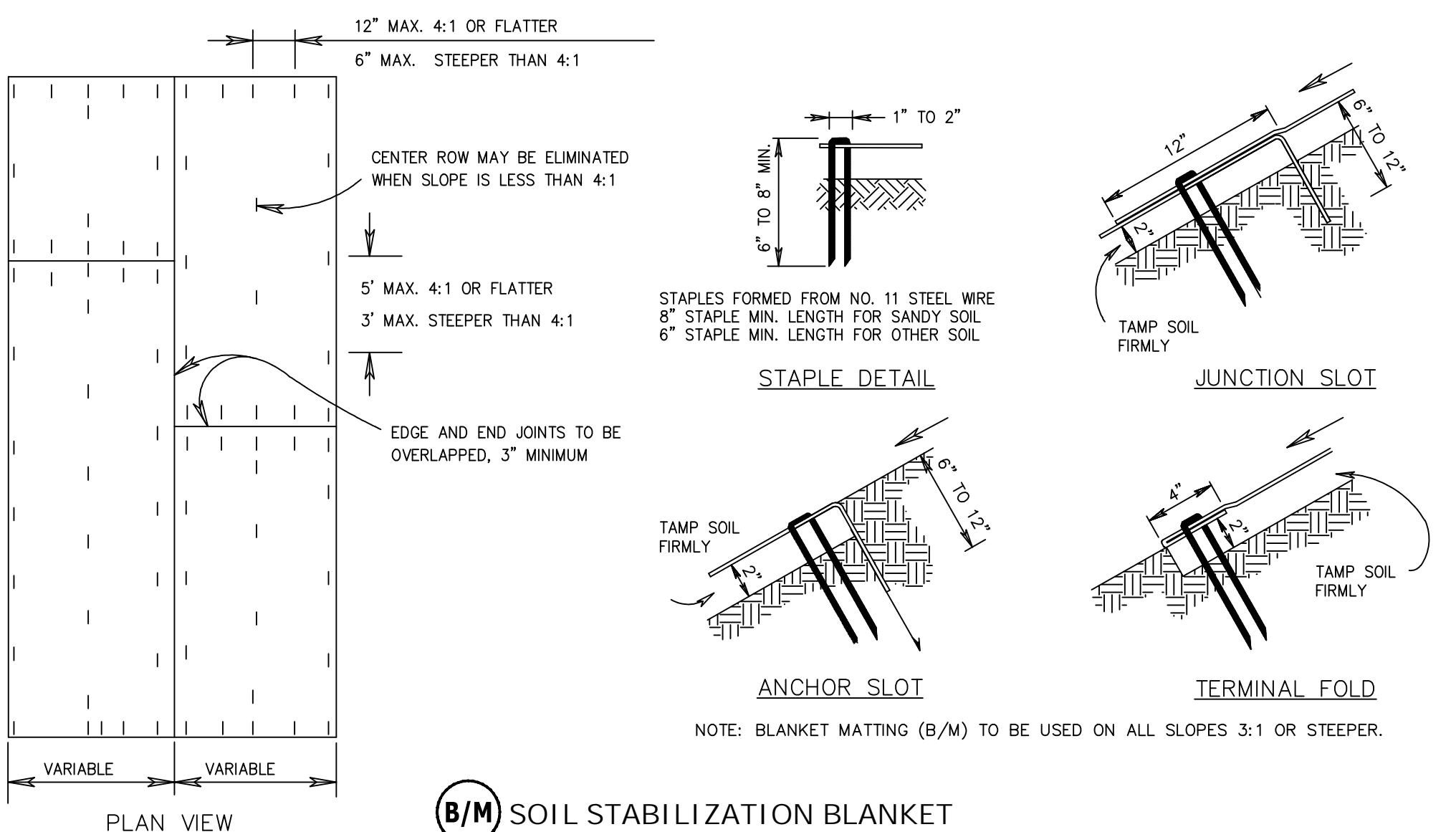
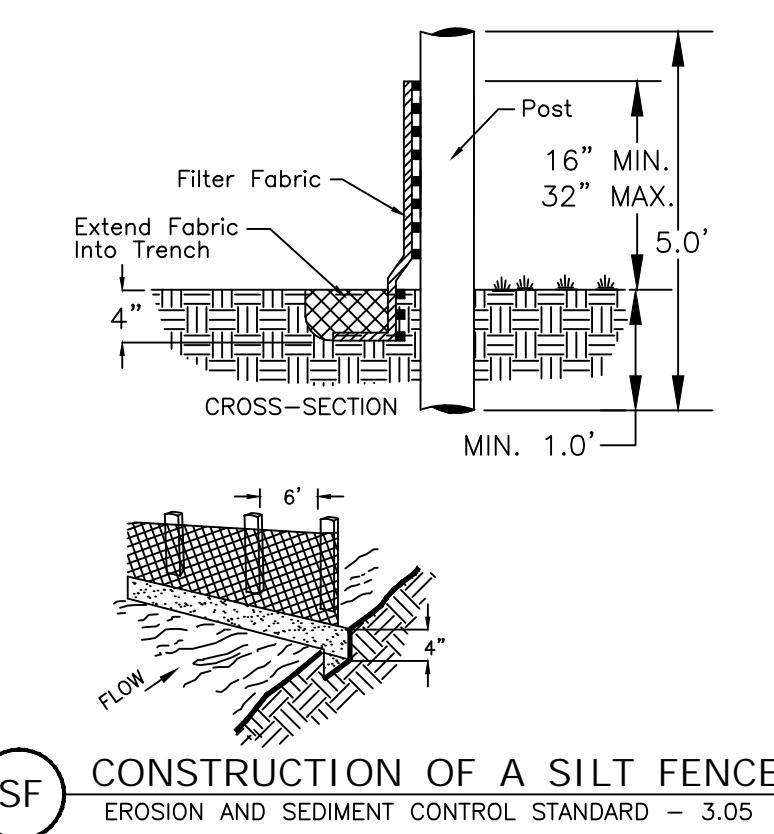
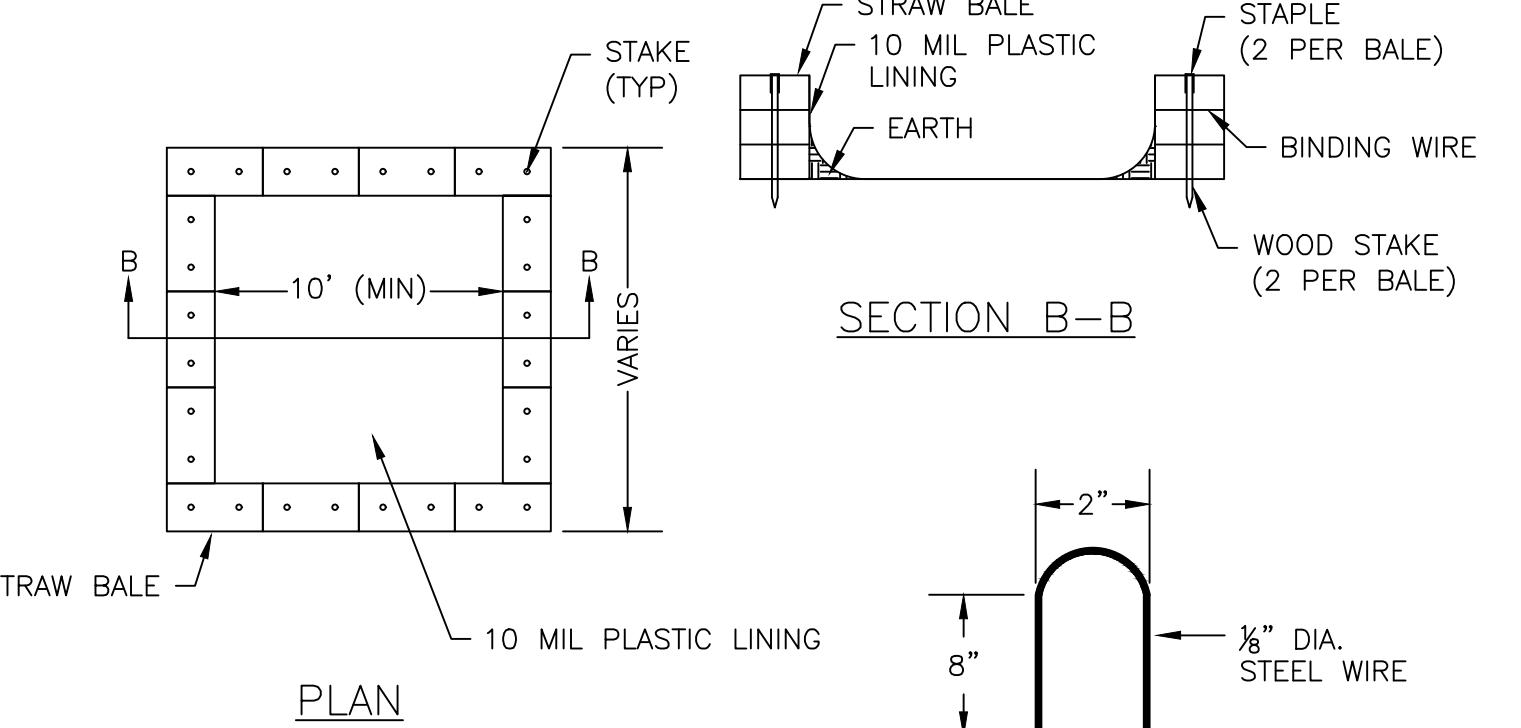
S.C.C. DETAIL



SCALE: 1" = 30'

APPROVAL BLOCK




(B/M) SOIL STABILIZATION BLANKET

(SF) CONSTRUCTION OF A SILT FENCE
 EROSION AND SEDIMENT CONTROL STANDARD - 3.05

**(CWO) CONCRETE TRUCK
WASHOUT DETAIL**

GENERAL NOTES:

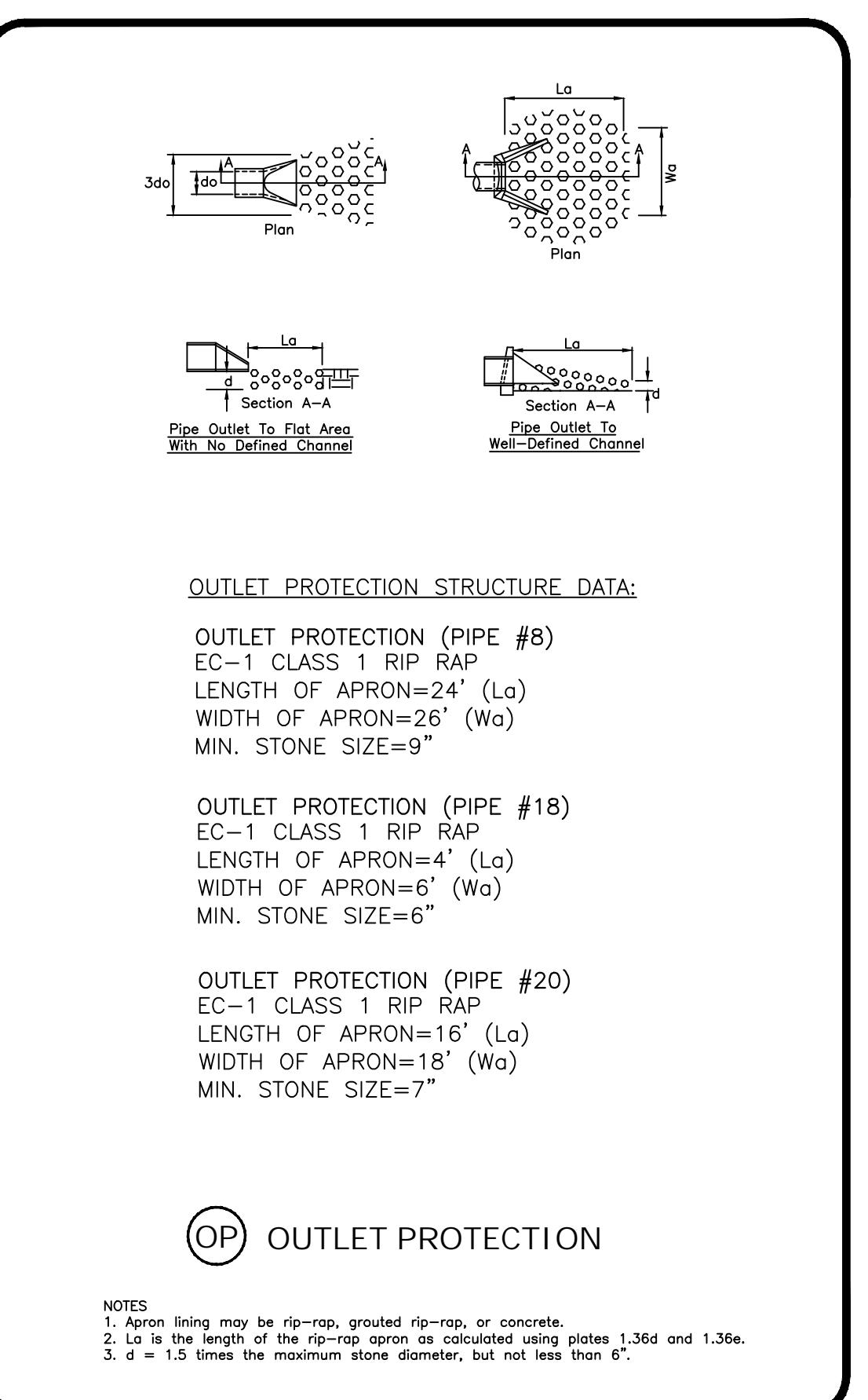
- ACTUAL SIZE TO BE DETERMINED IN FIELD. A MINIMUM OF 10' WIDE BY 10' LONG AND SIZED TO CONTAIN ALL LIQUID AND SOLID WASTE. A MINIMUM OF 12" FREEBOARD SHALL BE INCLUDED.
- THE CONCRETE WASHOUT SHALL NOT BE PLACED WITHIN 50' OF STORM DRAINS.
- EXCESS AND SLUMP TEST SOLIDS SHALL BE PLACED ON PLASTIC LINER UNTIL HARDENED. CONTRACTOR MAY CONSIDER INSTALLING WIRE OR REBAR HOOD FOR LATER PICKUP REMOVAL.
- INSPECTORS SHALL USE THE WASHOUT FACILITY OR PLASTIC FOR CLEANING OF THEIR TOOLS.

MAINTENANCE NOTES:

- CHECK ALL CONCRETE WASHOUT FACILITIES DAILY TO DETERMINE IF THEY HAVE BEEN FILLED TO 75% CAPACITY. THE FACILITY SHALL BE CLEANED OUT OR CHANGED WHEN 75% FULL.
- INSPECT LINERS DAILY TO ENSURE THAT LINERS ARE INTACT AND SIDEWALLS HAVE NOT BEEN DAMAGED BY CONSTRUCTION ACTIVITIES. LINERS SHALL BE REPLACED IF THERE ARE HOLES OR TEARS OBSERVED.

- CONCRETE WASTE SHALL BE WASHED INTO THE DESIGNATED AREA AND ALLOWED TO HARDEN. THE HARDENED CONCRETE SHALL BE BROKEN UP AND DISPOSED OF OFFSITE PER APPLICABLE VA. DEO RULES AND REGULATIONS. LIQUIDS SHALL NOT BE DISCHARGED DIRECTLY INTO WATERWAYS, STORM DRAINS, SWALES, OR DIRECTLY ONTO THE GROUND.
- REMOVE LIQUIDS OR COVER STRUCTURE BEFORE PREDICTED STORMS TO PREVENT OVERFLOWS.

- INSTALL A NEW PLASTIC LINER AFTER EVERY CLEANING.


(OP) OUTLET PROTECTION

NOTES:

1. Apron lining may be rip-rap, grouted rip-rap, or concrete.
2. L_a is the length of rip-rap apron as calculated using plates 1.36d and 1.36e.
3. $d = 1.5$ times the maximum stone diameter, but not less than 6".

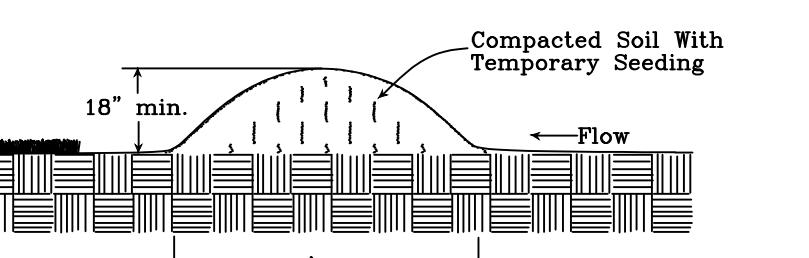
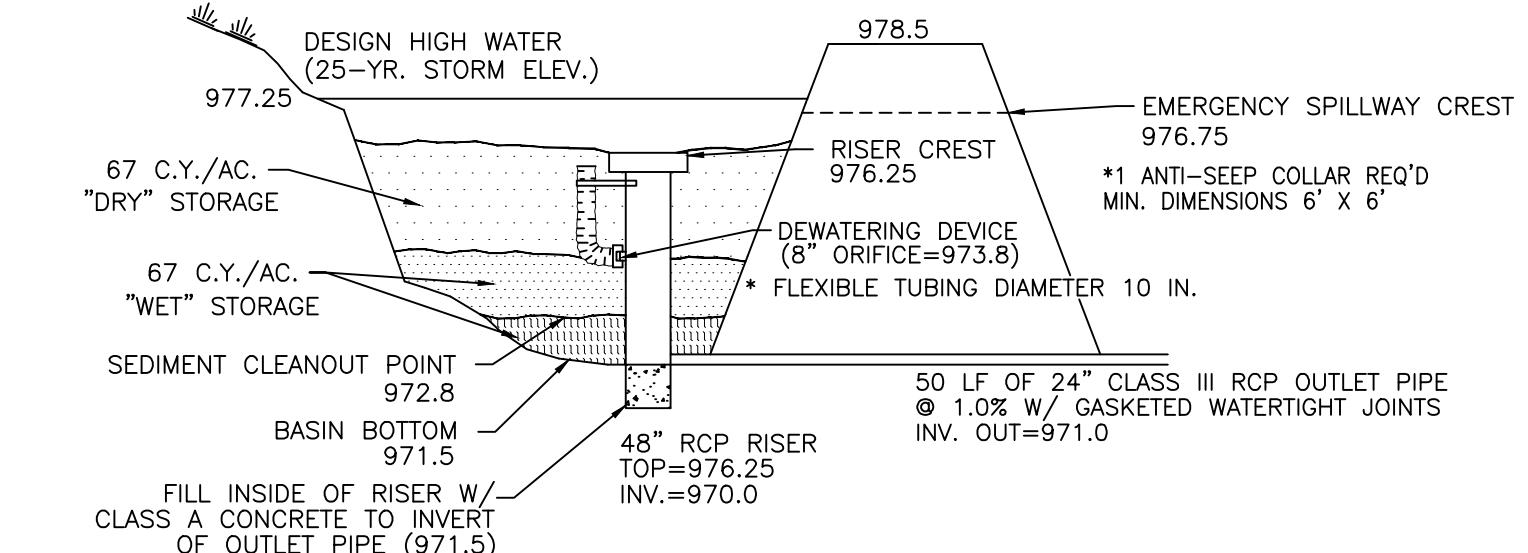
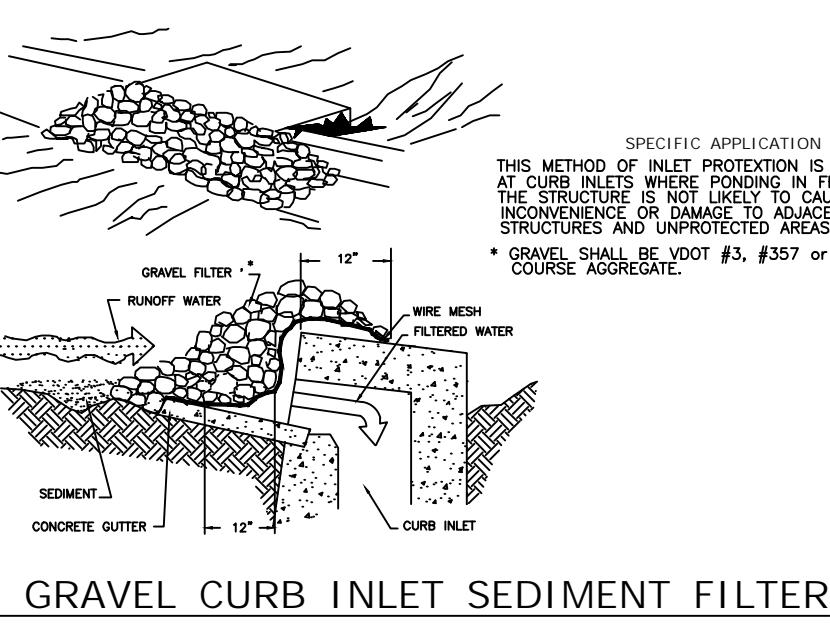
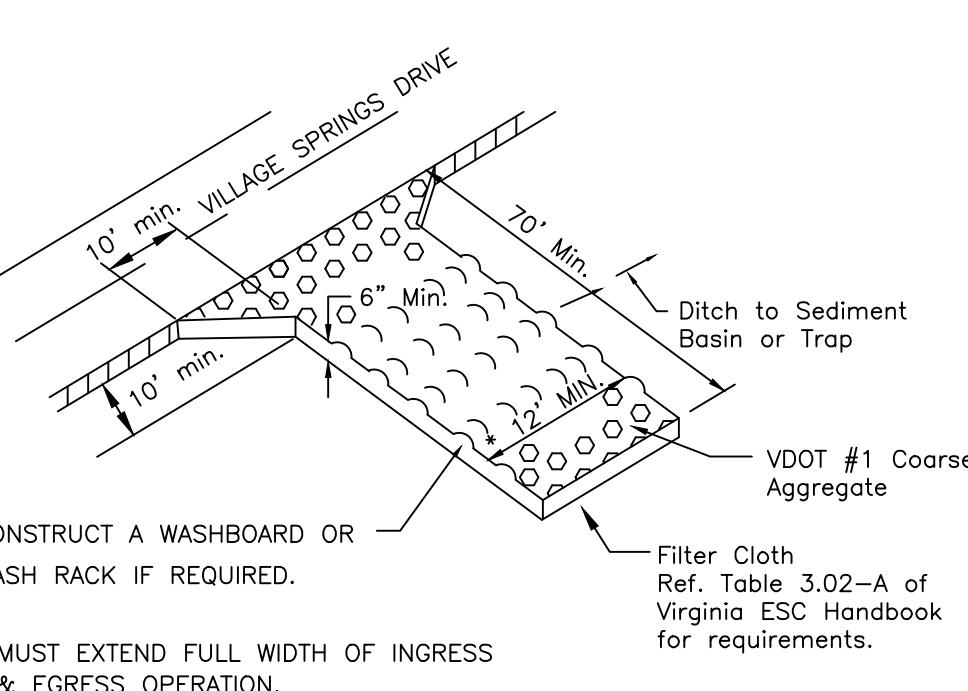
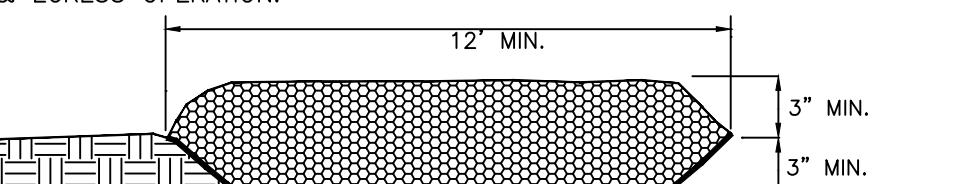
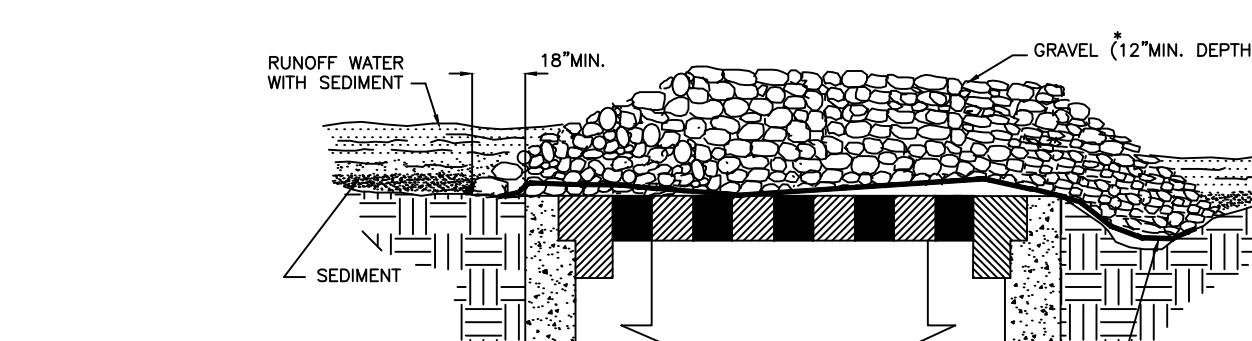

(DD) TEMPORARY DIVERSION DIKE

TABLE 3.32-C (Revised June 2003) PERMANENT SEEDING SPECIFICATIONS FOR APPALACHIAN/MOUNTAIN AREA		
LAND USE	SEED ¹ SPECIES	APPLICATION RATES
Minimum Care Lawn (Commercial or Residential)	Tall Fescue ¹ Perennial Ryegrass ² Kentucky Bluegrass ³	90-100% 0-10% 0-10% TOTAL: 200-250 lbs
High-Maintenance Lawn	Minimum of three (3) up to five (5) varieties of Kentucky Bluegrass from approved list for use in Virginia ⁴	TOTAL: 125 lbs
General Slope (3:1 or less)	Tall Fescue Red Top Grass or Creeping Red Fescue Seasonal Nurse Crop ⁵	120 lbs 2 lbs 20 lbs TOTAL: 150 lbs
Low-Maintenance Slope (Steeper than 3:1)	Tall Fescue Red Top Grass or Creeping Red Fescue Seasonal Nurse Crop ⁵ Crownvetch	108 lbs 2 lbs 20 lbs TOTAL: 150 lbs
1 - When selecting varieties of turfgrass, use the Virginia Crop Improvement Association (VICA) recommended turfgrass variety. Quality seed will bear a label indicating that they are approved by VICA. A current turfgrass variety list is available at the County Extension office or through VICA at 804-746-4884 or at http://www.vica.org or at http://www.vica.org/publications2.html .		
2 - Perennial Ryegrass will germinate faster and at lower soil temperatures than Tall Fescues, thereby providing cover and erosion resistance for seedbeds.		
3 - Use seasonal nurse crop in accordance with seeding dates as stated below:		
March, April - May 15 ⁶ Annual Rye May 15 - August 1 ⁷ Fodder Millet August 1 ⁸ - September, October Annual Rye November - February Winter Rye		
4 - All legume seed must be properly inoculated. If flatpea is used, increase to 30 lbs/acre. If Weeping Lovegrass is used, include in any slope or low maintenance mixture during warmer seeding periods, increase to 30-40 lbs/acre.		
5 - Apply 10-10-10 fertilizer at a rate of 500 lbs / acre (or 12 lbs. / 1,000 sq. ft.)		
6 - Apply Pulverized Agricultural Limestone at a rate of 2 tons/acre (or 90 lbs. / 1,000 sq. ft.)		
NOTE:		
1 - A soil test is necessary to determine the actual amount of lime required to adjust the soil pH of site.		
2 - Incorporate the lime and fertilizer into the top 4 - 6 inches of the soil by disking or by other means.		
3 - When applying Slowly Available Nitrogen, use rates available in Erosion & Sediment Control Technical Bulletin #4, 2003 Nutrient Management for Development Sites at http://www.dcr.state.va.us/wseis.htm#pubs		

TABLE 3.31-B (Revised June 2003) TEMPORARY SEEDING SPECIFICATIONS QUICK REFERENCE FOR ALL REGIONS		
SEED	SPECIES	APPLICATION RATES
APPLICATION DATES		
Sept. 1 - Feb. 15	50/50 Mix of Annual Ryegrass (Lolium multi-florum) & Cereal (Winter) Rye (Secale cereale)	50 - 100 (lbs/acre)
Feb. 16 - Apr. 30	Annual Ryegrass (Lolium multi-florum)	60 - 100 (lbs/acre)
May 1 - Aug. 31	German Millet	50 (lbs/acre)
FERTILIZER & LIME		
• Apply 10-10-10 fertilizer at a rate of 450 lbs. / acre (or 10 lbs. / 1,000 sq. ft.)		
• Apply Pulverized Agricultural Limestone at a rate of 2 tons/acre (or 90 lbs. / 1,000 sq. ft.)		
NOTE:		
1 - A soil test is necessary to determine the actual amount of lime required to adjust the soil pH of site.		
2 - Incorporate the lime and fertilizer into the top 4 - 6 inches of the soil by disking or by other means.		
3 - When applying Slowly Available Nitrogen, use rates available in Erosion & Sediment Control Technical Bulletin #4, 2003 Nutrient Management for Development Sites at http://www.dcr.state.va.us/wseis.htm#pubs		

**(TS) TEMPORARY SEEDING
SPECIFICATIONS**
**SEDIMENT BASIN SCHEMATIC
ELEVATIONS**

**DESIGN ELEVATIONS WITH
EMERGENCY SPILLWAY
(RISER PASSES 2-YR. EVENT)**
SEDIMENT BASIN

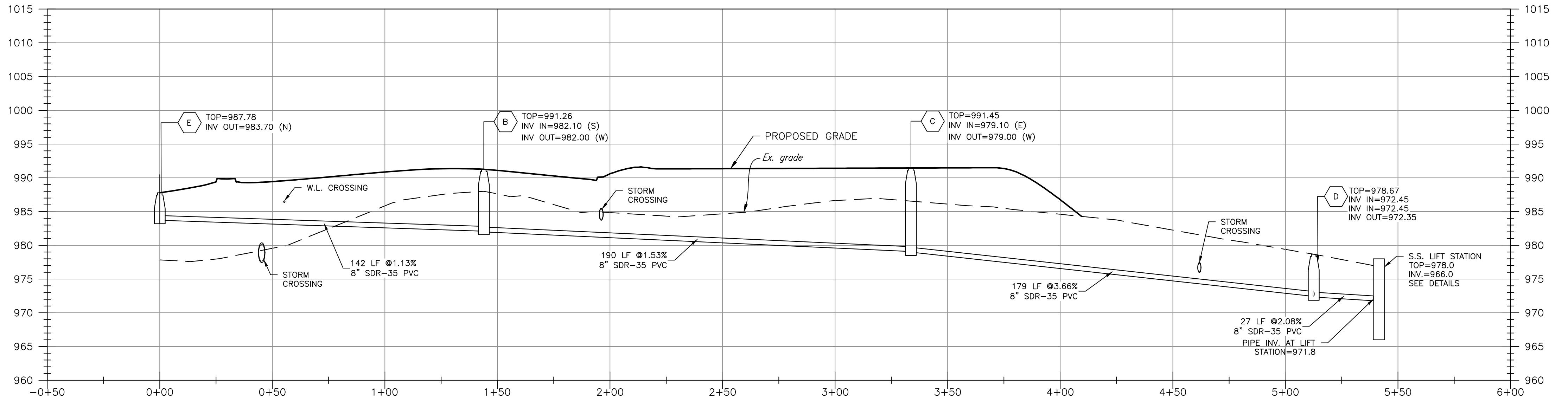
N.T.S.


(IP) GRAVEL CURB INLET SEDIMENT FILTER

**(CE) TEMPORARY GRAVEL
CONSTRUCTION ENTRANCE**

(DD) TEMPORARY DIVERSION DIKE

(IP) GRAVEL AND WIRE MESH DROP INLET SEDIMENT FILTER
APPROVAL BLOCK

DRAWN BY	CPB
DESIGNED BY	CPB
CHECKED BY	BTC
DATE	4/30/2019
SCALE	AS SHOWN
REVISIONS	

7/11/2019
 8/30/2019
 10/30/2019
 12/31/2019
 3/24/2020
 9/28/2020

SANITARY SEWER E-LIFT STATION PROFILE



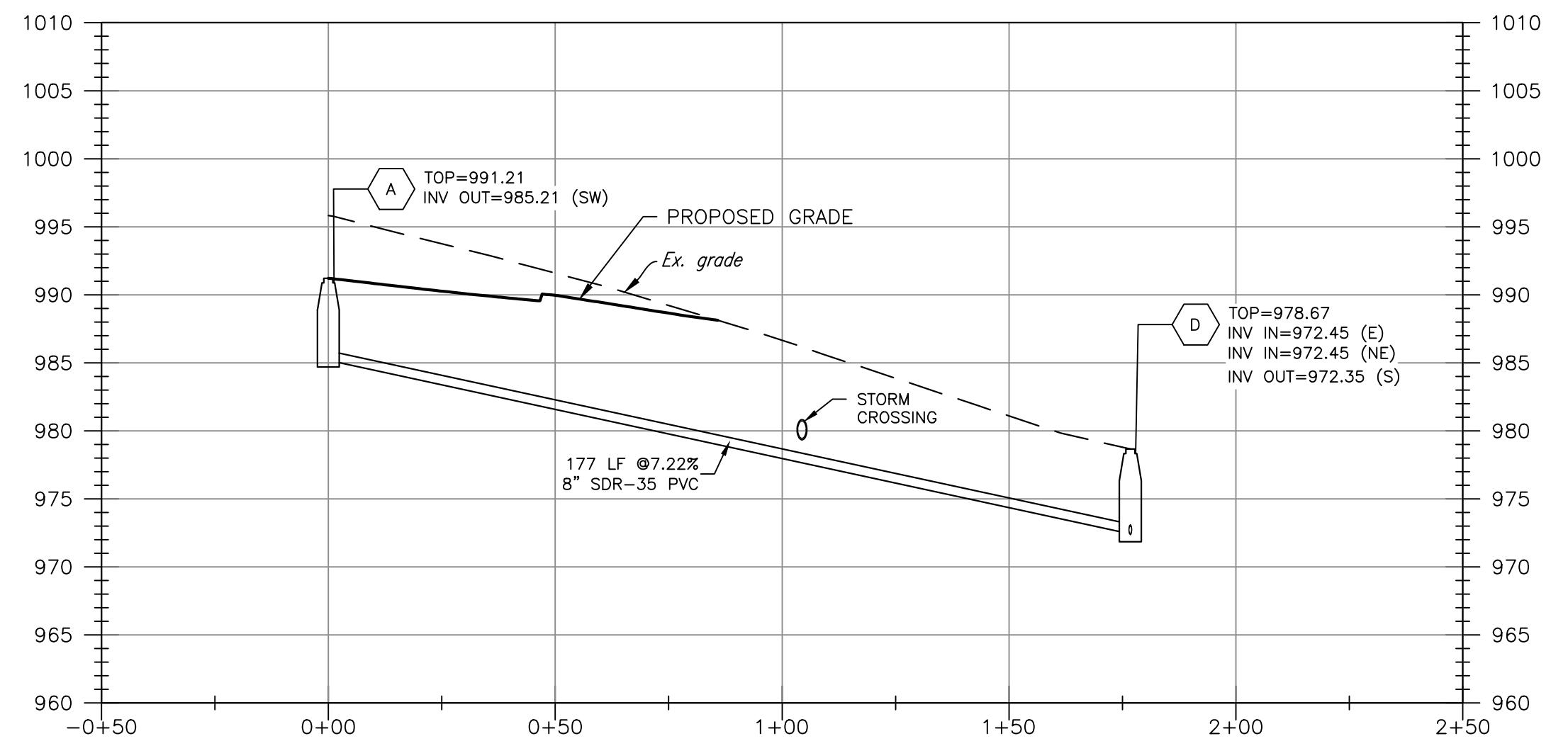
PROPOSED SANITARY SEWER SCHEDULE

- (A) S.S. MANHOLE (PRIVATE)
TOP=991.21
INV. OUT=985.21
- (A-D) 177 LF OF 8" SDR-35 AT 7.22%
- (B) S.S. MANHOLE (PUBLIC)
TOP=991.26
INV. IN=982.10
INV. OUT=982.00
- (B-C) 190 LF OF 8" SDR-35 AT 1.53%
- (C) S.S. MANHOLE (PUBLIC)
TOP=991.45
INV. IN=979.1
INV. OUT=979.0
- (C-D) 179 LF OF 8" SDR-35 AT 3.66%
- (D) S.S. MANHOLE (PUBLIC)
TOP=978.67
INV. IN=972.45
INV. IN=972.45
INV. OUT=972.35
- (D-LS) 27 LF OF 8" SDR-35 AT 2.08%
- (E) S.S. MANHOLE (PUBLIC)
TOP=987.78
INV. OUT=983.7
- (E-B) 142 LF OF 8" SDR-35 AT 1.13%

NOTES:

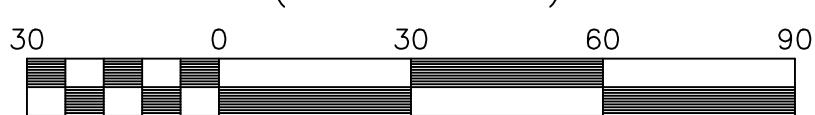
1. G.C. TO CONFIRM & COORDINATE ALL BUILDING TIE-IN LOCATIONS WITH M.E.P. AND ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION OF LATERALS.
2. G.C. TO CONFIRM ALL TIE-IN LOCATIONS TO EXISTING LINES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
3. 6" S.S. LATERALS SHALL BE CONSTRUCTED AT MIN. SLOPE OF 1.04% PER THE BUILDING CODE.

SANITARY SEWER A-D PROFILE



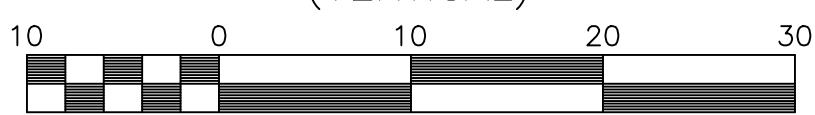
PROFILE SCALES:

(HORIZONTAL)



SCALE: 1" = 30'

(VERTICAL)



SCALE: 1" = 10'

APPROVAL BLOCK

FRANKLIN COUNTY DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

DATE

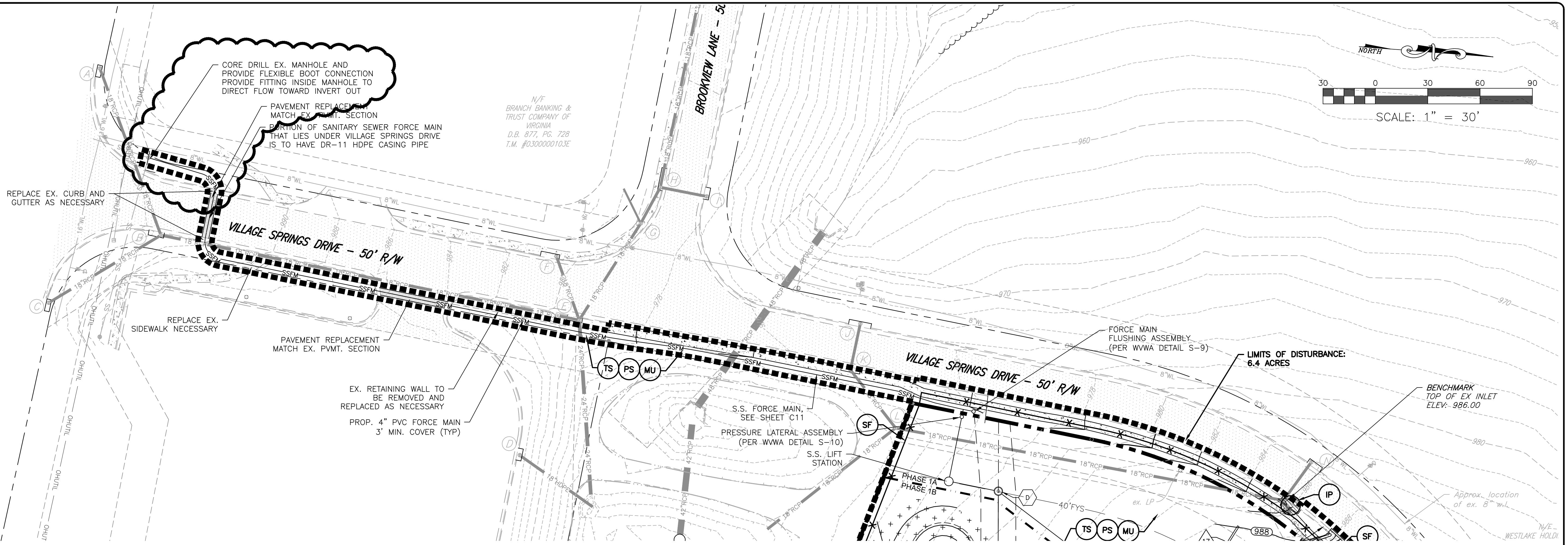
WESTLAKE VILLAGE APARTMENTS OFF-SITE S.S. EXTENSION

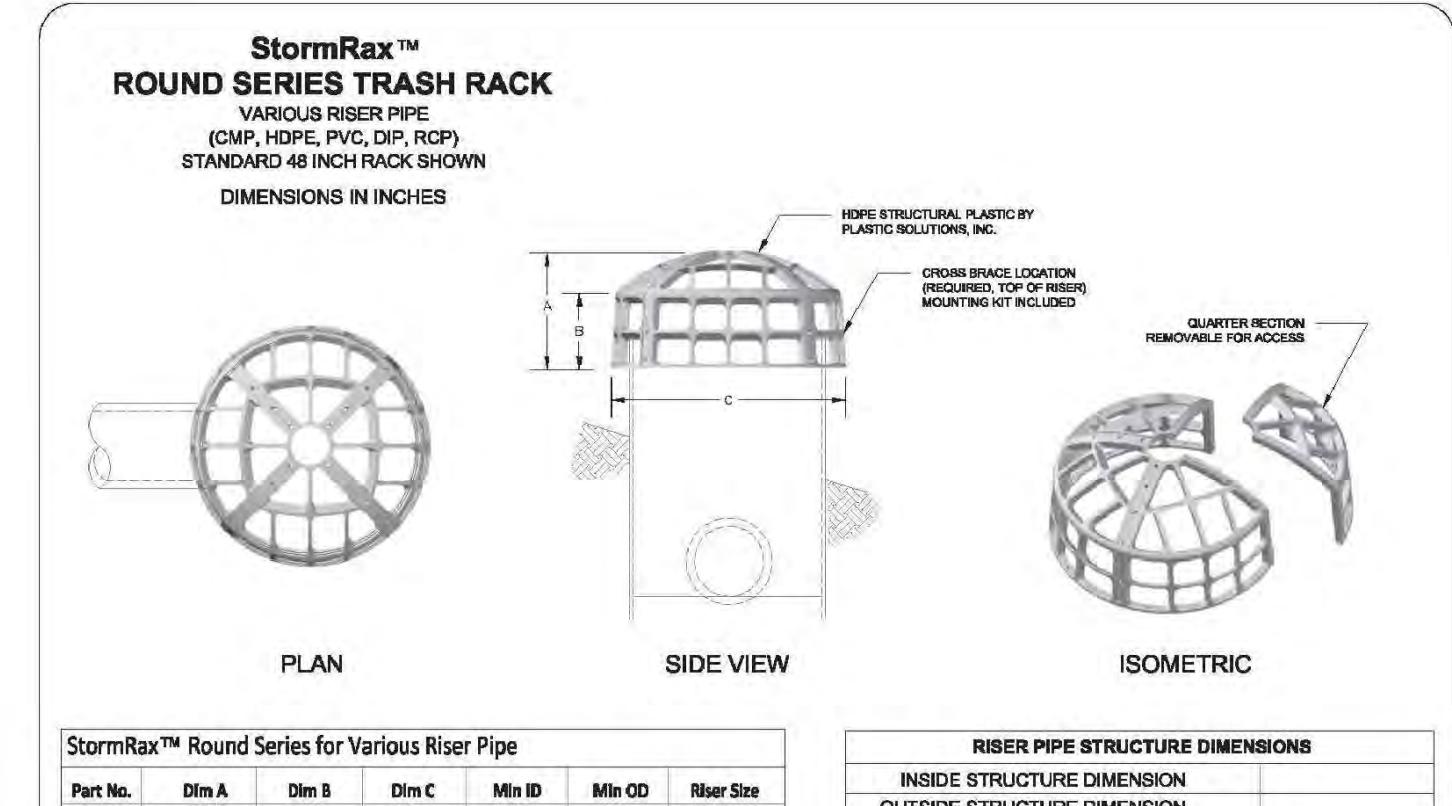
GILLS CREEK DISTRICT
FRANKLIN COUNTY, VIRGINIA

DRAWN BY
CPB
DESIGNED BY
CPB
CHECKED BY
BTC
DATE
4/30/2019
SCALE
AS NOTED
REVISIONS

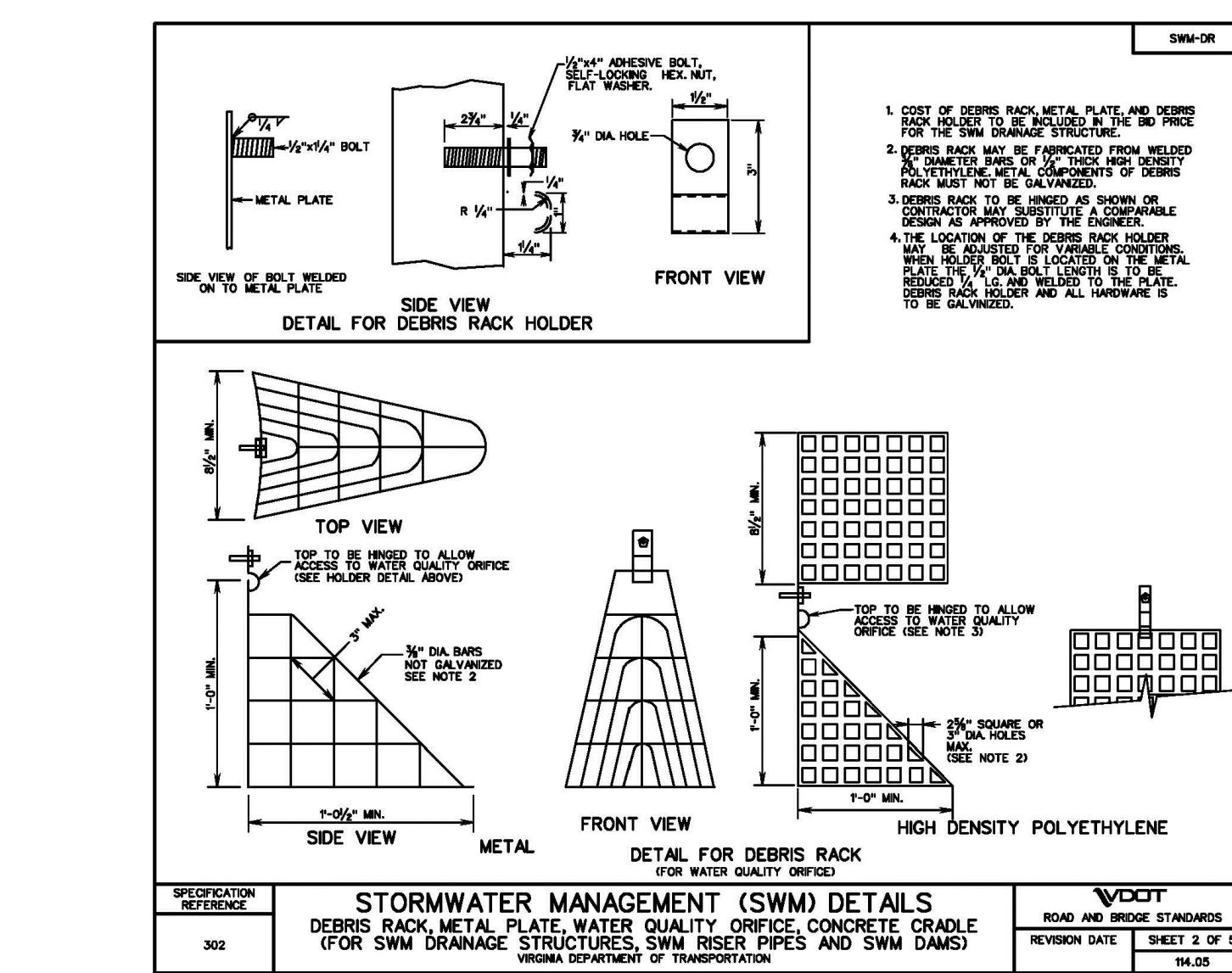
7/11/2019
8/30/2019
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12/31/2019
3/24/2020
9/28/2020
6/18/2021

C11
04180116
PROJECT NO.



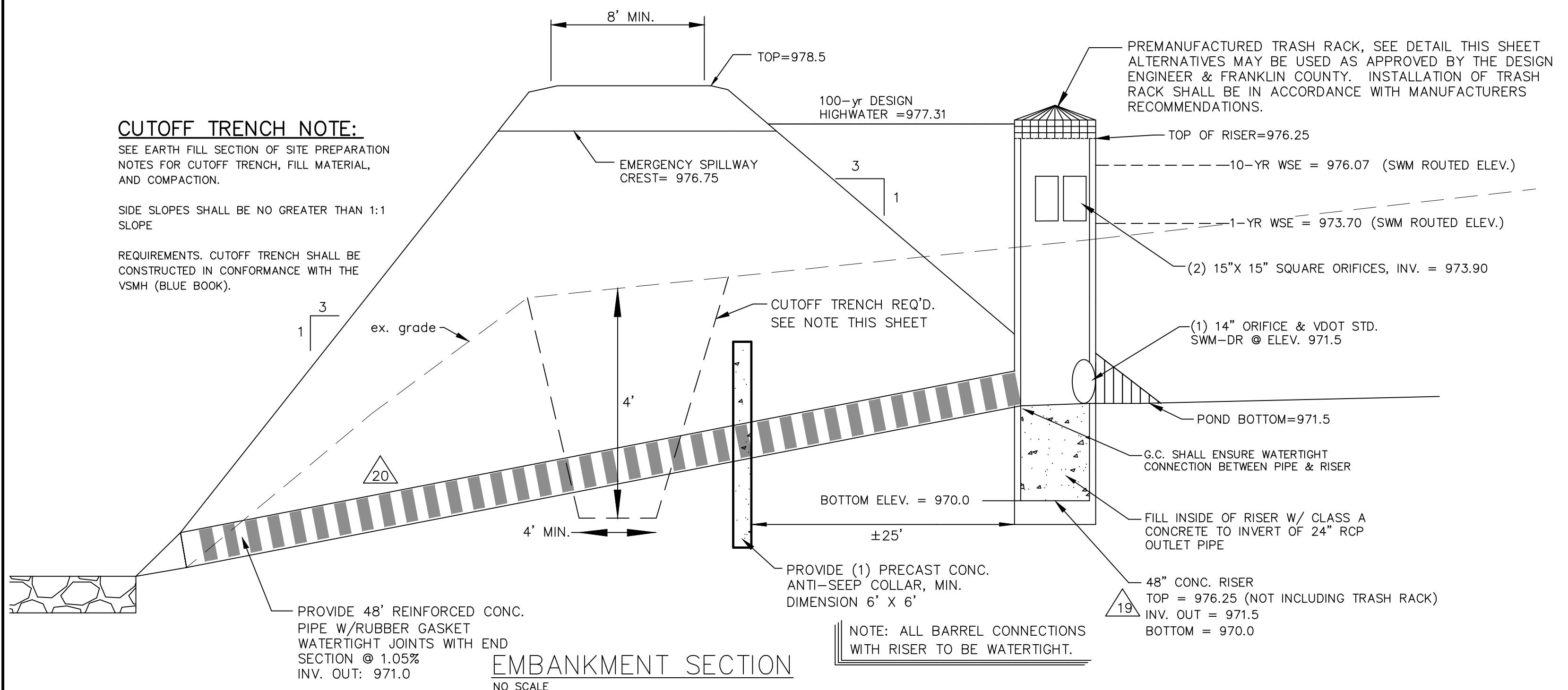


Plastic Solutions, Inc. CUSTOMER DATE DRAWN BY:
 PO Box 4386, Winchester, VA 22604
 (540) 722-2319 fax
<http://www.plastic-solutions.com>



TOP = 978.5
 WEIR ELEV. = 976.75
 100 YR WSE = 977.29
 30' WIDTH
 RIPRAP LINING FOR SPILLWAY

EMERGENCY SPILLWAY DETAIL

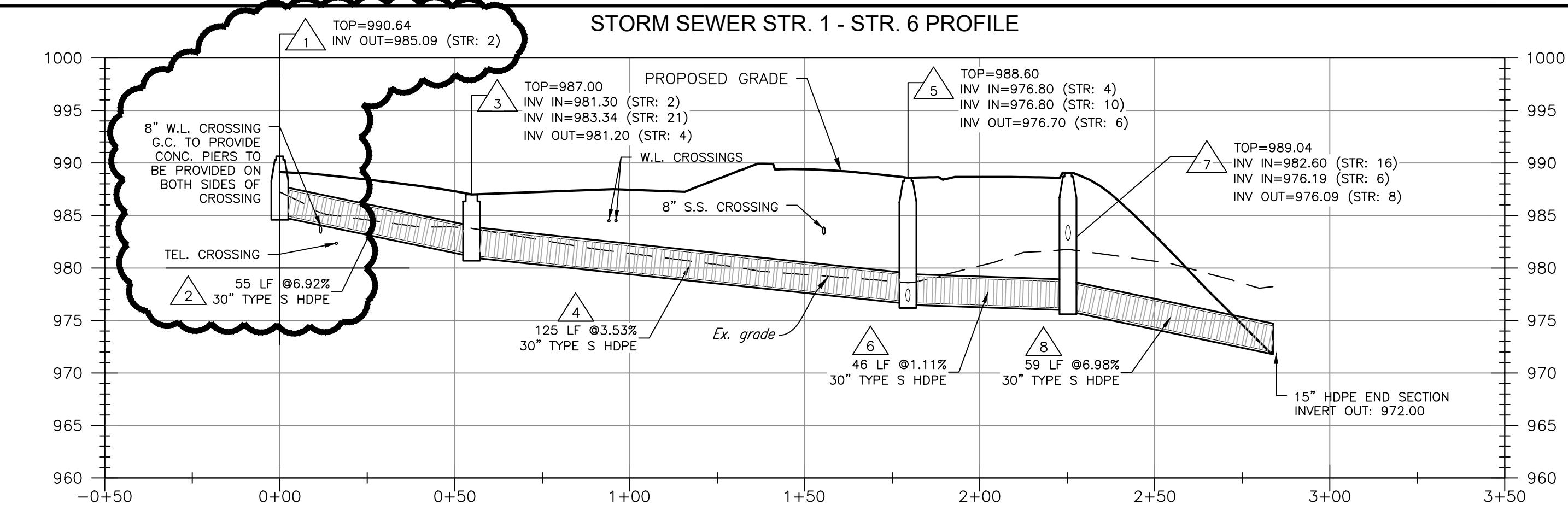


S.W.M. BASIN DETAIL

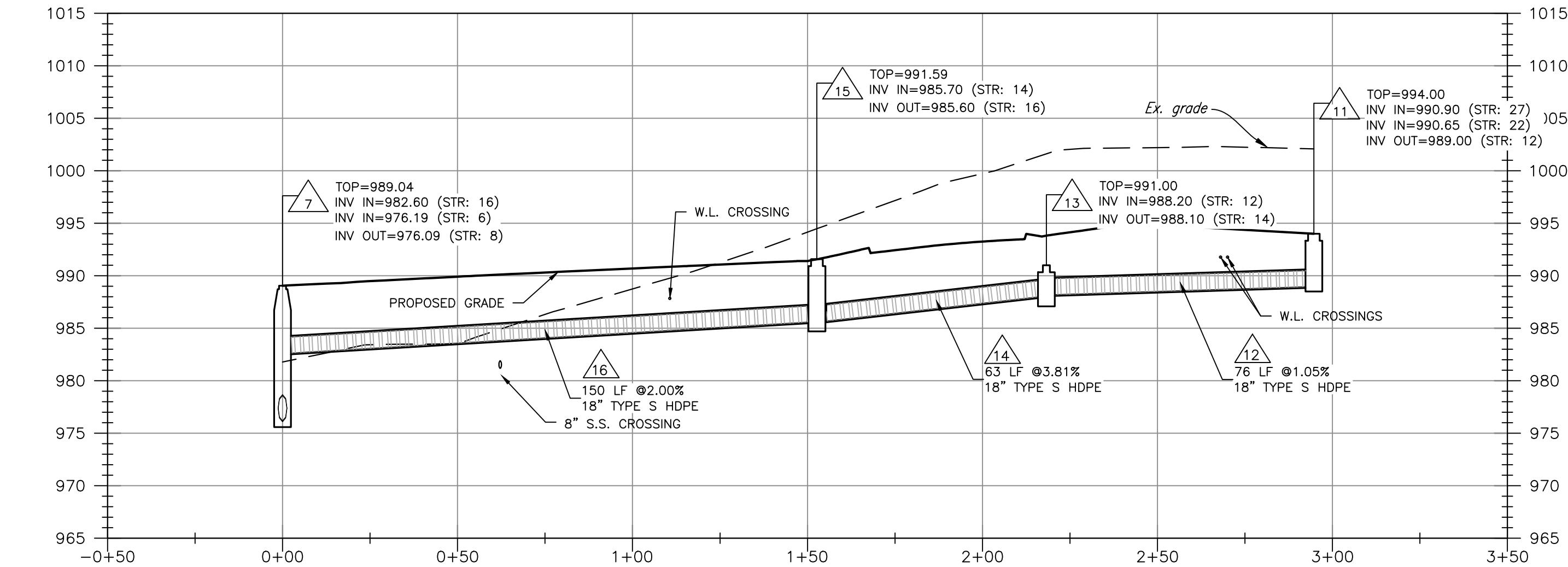
PROPOSED STORM SEWER SCHEDULE

1 VDOT ST'D MH-2 TOP=989.10 INV. OUT=985.09
 2 55 LF OF 30" TYPE S HDPE PIPE AT 6.92%
 3 VDOT ST'D DI-1 TOP=987.00 INV. IN=981.30 (STR. #2) INV. IN=983.34 (STR. #21) INV. OUT=981.20
 4 125 LF OF 30" TYPE S HDPE PIPE AT 5.35%
 5 VDOT ST'D MH-2 TOP=988.6 INV. IN=976.80 (STR. #3) INV. IN=976.80 (STR. #10) INV. OUT=976.70
 6 46 LF OF 30" TYPE S HDPE PIPE AT 1.11%
 7 VDOT ST'D DI-3B TOP=989.04 INV. IN=982.60 (STR. #16) INV. IN=976.19 (STR. #6) INV. OUT=976.09
 8 59 LF OF 30" TYPE S HDPE PIPE AT 6.98% WITH END SECTION
 9 VDOT ST'D DI-1 TOP=981.94 INV. OUT=977.91
 10 111 LF OF 15" TYPE S HDPE PIPE AT 1.00%
 11 VDOT ST'D DI-1 TOP=990.90 (STR. #27) INV. IN=990.65 (STR. #22) INV. OUT=989.00
 12 76 LF OF 18" TYPE S HDPE PIPE AT 1.05%
 13 VDOT ST'D DI-3A TOP=993.85 6' THROAT INV. IN=988.20 INV. OUT=988.10
 14 63 LF OF 18" TYPE S HDPE PIPE AT 3.78%
 15 VDOT ST'D DI-1 TOP=991.59 INV. IN=985.70 INV. OUT=985.60
 16 150 LF OF 18" TYPE S HDPE PIPE AT 2.00%

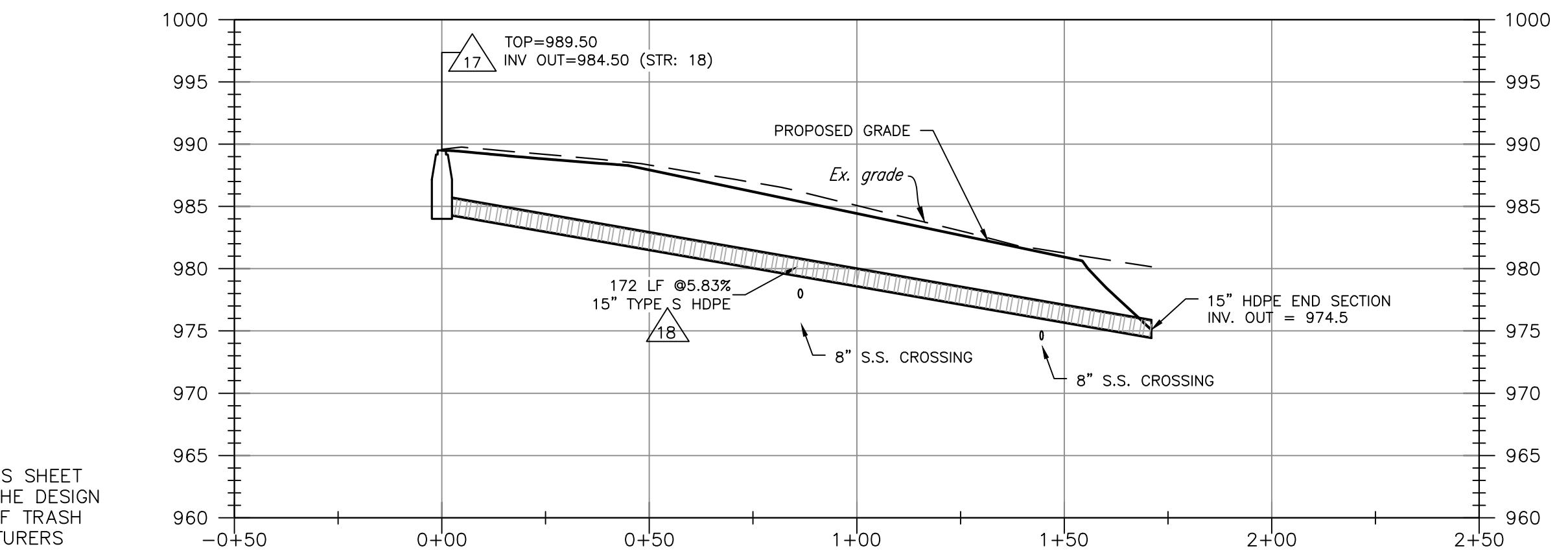
NOTES:
 1. G.C. SHALL PROVIDE VDOT STANDARD IS-1 INLET SHAPING WITHIN ALL PROPOSED STORM STRUCTURES.
 2. ALL PIPE CONNECTIONS TO STRUCTURES SHALL BE IN ACCORDANCE WITH VDOT STANDARDS.
 3. ALL PROPOSED YARD DRAINS SHALL BE 12" NYLOPLAST STANDARD GRADE OR APPROVED FOILAI



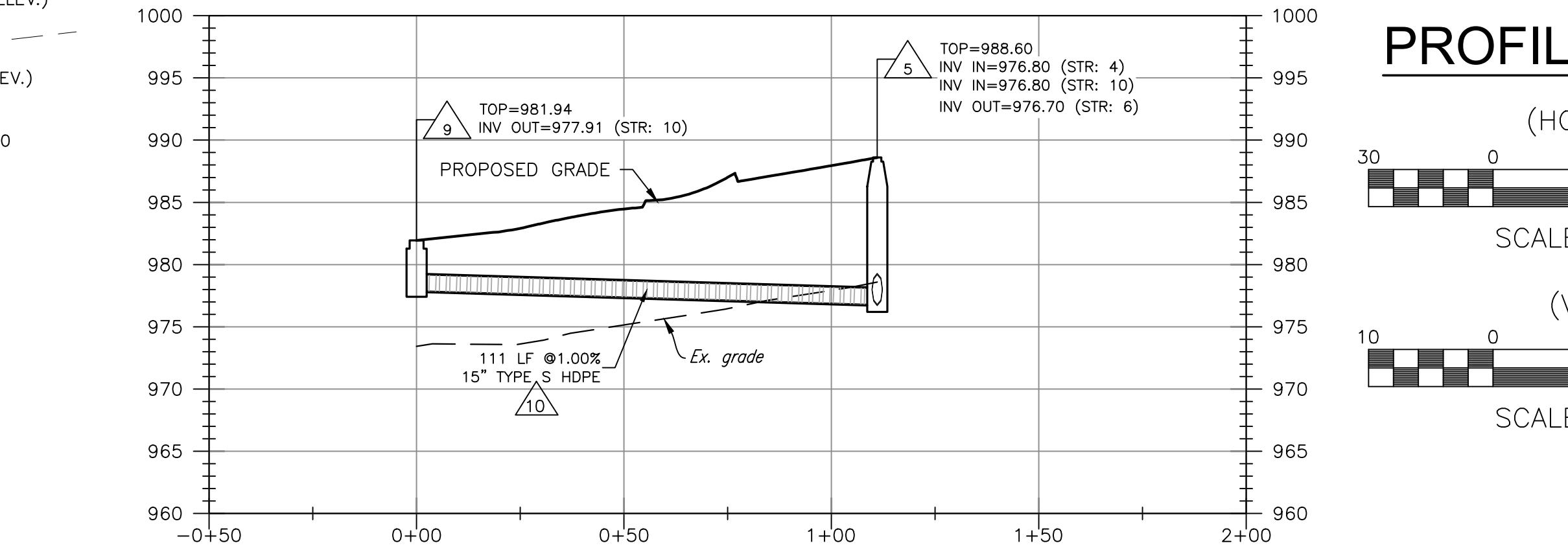
STORM SEWER STR. 13 - STR. 11 PROFILE



STORM SEWER STR. 17 - STR. 18 PROFILE



STORM SEWER STR. 9 - STR. 5 PROFILE



PROFILE SCALES:

(HORIZONTAL)

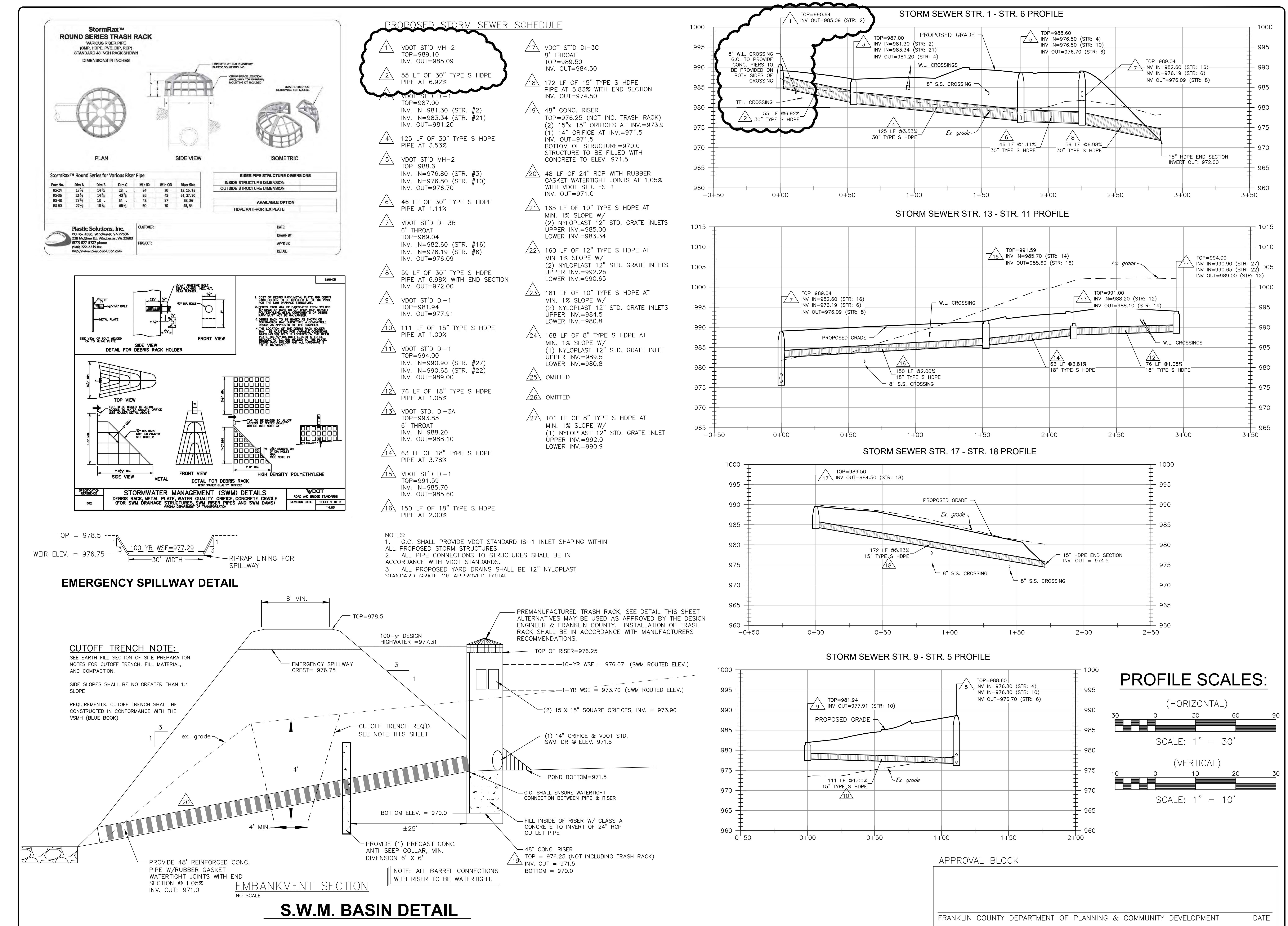
SCALE: 1" = 30'

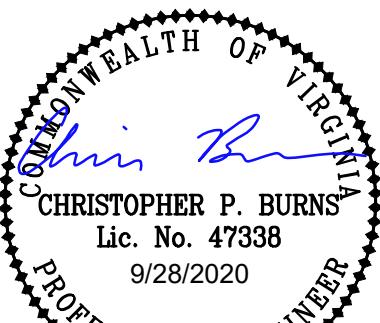
(VERTICAL)

SCALE: 1" = 10'

APPROVAL BLOCK

FRANKLIN COUNTY DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT DATE





LANDSCAPE SUMMARY:

PERIMETER LANDSCAPING

THE MINIMUM REQUIRED LANDSCAPING FOR ALL OUTER BOUNDARIES OF ANY USE REQUIRING A SITE PLAN SHALL BE PROVIDED AS PER PERIMETER LANDSCAPING A.

PERIMETER LANDSCAPING A

VILLAGE SPRINGS ROAD FRONTAGE: 700 LF

REQUIRED:

ONE SMALL DECIDUOUS TREE FOR EACH FIFTY (50) LINEAL FEET OR AT LEAST ONE EVERGREEN TREE FOR EACH FIFTY (50) LINEAL FEET SHALL BE PLANTED WITHIN THE REQUIRED LANDSCAPE YARD.

ONE MEDIUM SHRUB FOR EACH TWENTY-FIVE (25) LINEAL FEET SHALL BE PLANTED WITHIN THE REQUIRED YARDS AND SETBACK AREA.

LOW SHRUBS AND GROUNDCOVER SHALL BE DISPERSED WITHIN THE REQUIRED YARDS AND SETBACK AREA.

THE REQUIRED LANDSCAPE YARD SHALL BE SUFFICIENT TO ACCOMMODATE THE REQUIRED LANDSCAPE TREATMENT DEFINED HEREIN.

PROVIDED: 14 SMALL TREES, 28 SHRUBS

PERIMETER LANDSCAPING B

MOREWOOD ROAD RTE. 616 FRONTAGE: 620 LF

REQUIRED:

ONE LARGE DECIDUOUS TREE FOR EACH FIFTY (50) LINEAL FEET OR AT LEAST ONE (1) EVERGREEN TREE FOR EACH THIRTY (30) LINEAL FEET.

ONE SMALL DECIDUOUS TREE FOR EACH FIFTY (50) LINEAL FEET.

ONE MEDIUM SHRUB FOR EACH THIRTY (30) LINEAL FEET.

THE REQUIRED LANDSCAPE YARD SHALL BE A MINIMUM OF TWENTY (20) FEET IN WIDTH.

PROVIDED: 12 LARGE TREES, 12 SMALL TREES, 21 SHRUBS

ADJOINING ZONING DISTRICT LANDSCAPING REQUIREMENTS

BUILDING SITE: PCD, ADJOINING DISTRICTS: B2 & PCD

NO LANDSCAPE REQUIREMENTS.

PARKING LOT LANDSCAPING AND SCREENING

LANDSCAPED OPEN SPACE SHALL BE EQUAL TO 5% OF PARKING AREA AND WITHIN THE PERIMETER OF THE PARKING AREA.

PARKING AREA PAVEMENT: 56,594 SF

REQUIRED LANDSCAPED OPEN SPACE: ±2,830 SF

PROVIDED LANDSCAPED OPEN SPACE: ±6,700 SF

PARKING AREA CROWN COVERAGE SHALL BE A MINIMUM OF 20% OF PARKING AREA AT Maturity.

REQUIRED CROWN COVERAGE: ±11,320 SF

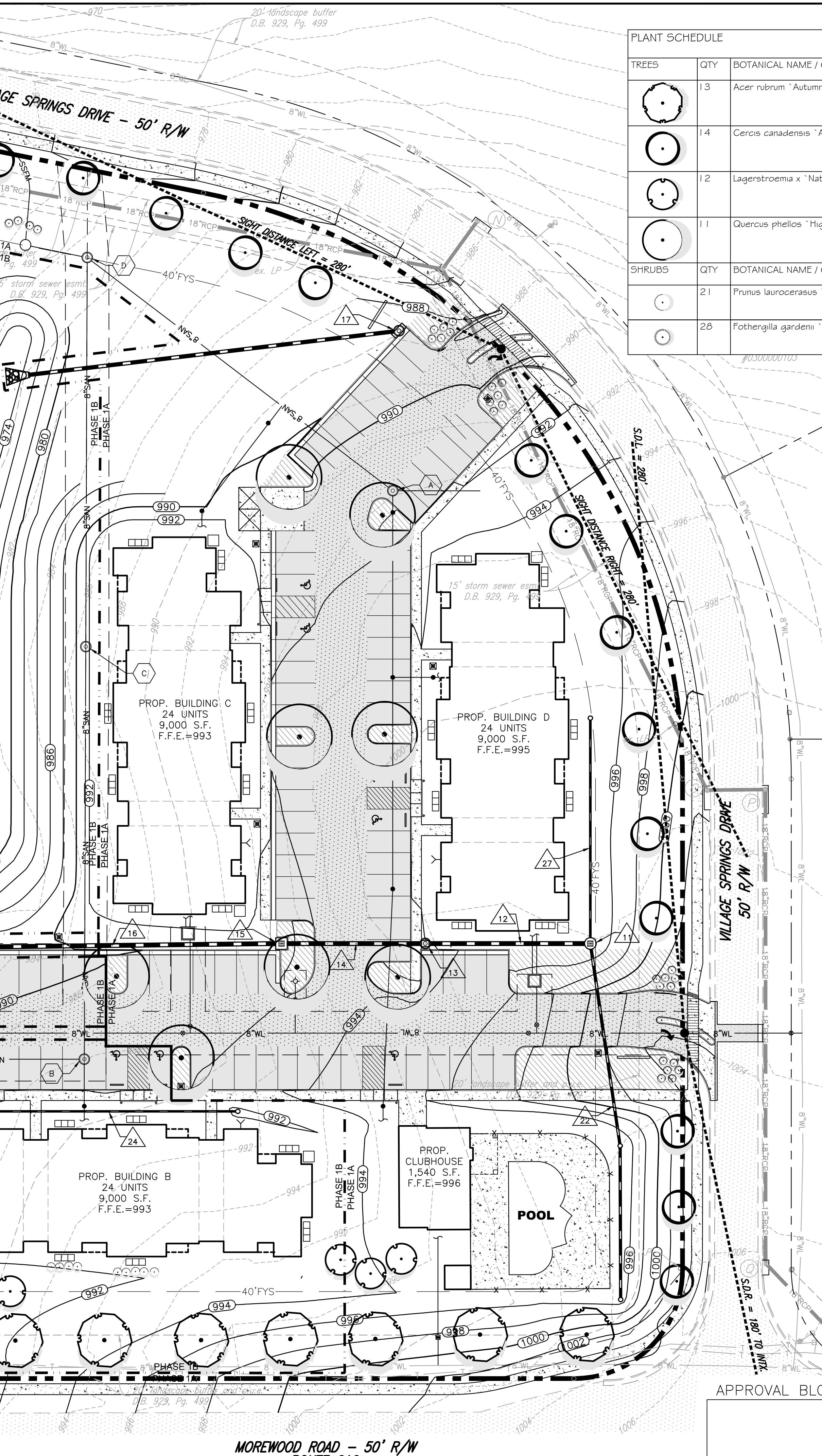
PROVIDED CROWN COVERAGE: ±16,250 SF (13 TREES @ 1,250 SF EA)

LANDSCAPED OPEN SPACE
WITHIN PARKING AREA

PARKING AREA

N/F
ARC CVH01VA001 LLC
D.B. 1032, PG. 2910
ZONING: B2
T.M. #030000103B

PROP. BUILDING A
24 UNITS
9,000 S.F.
F.F.E.=988



PLANT SCHEDULE

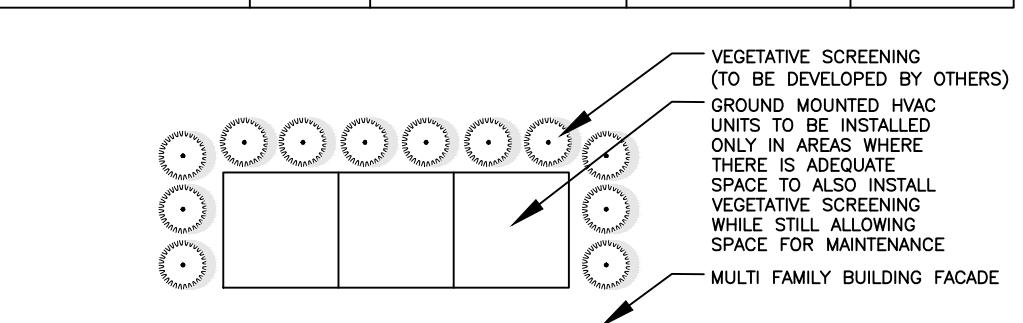
TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	HT
13		Acer rubrum 'Autumn Glory' / Autumn Glory Maple	B # B	2.00" CAL. MIN.	10'-12' MIN.
14		Cercis canadensis 'Appalachian Red' / Eastern Redbud	B # B	1.50" CAL. MIN.	6' MIN.
12		Lagerstroemia x 'Natchez' / White Crape Myrtle Multi-Trunk	B # B	1.25" CAL. MIN.	5' MIN.
11		Quercus phellos 'Hightower' / Willow Oak	B # B	2.00" CAL. MIN.	10'-12' MIN.

SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT	HT	SPR	SPACING
21		Prunus laurocerasus 'Otto Luyken' / Luykens Laurel	3 gal	24" MIN.		48" o.c.
28		Fothergilla gardenii 'Blue Mist' / Blue Mist Fothergilla	3 gal	24" MIN.		48" o.c.

FRANKLIN COUNTY DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT DATE

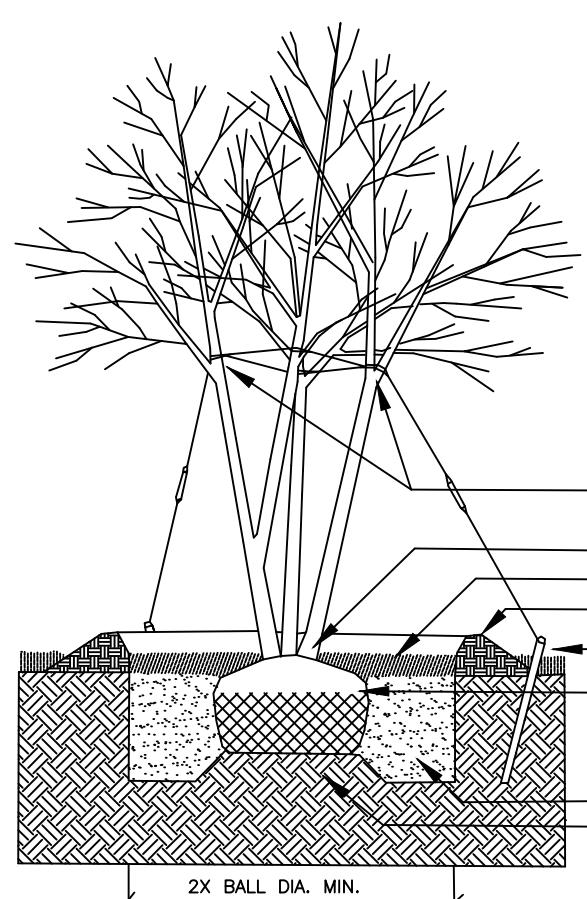
PROJECT NO. 04180116.00

APPROVAL BLOCK



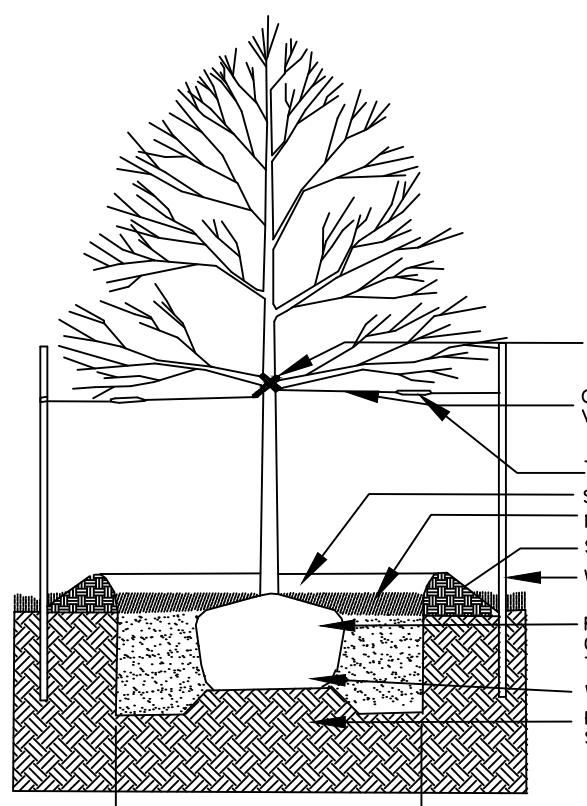
HVAC BUFFERING DETAIL

NO SCALE



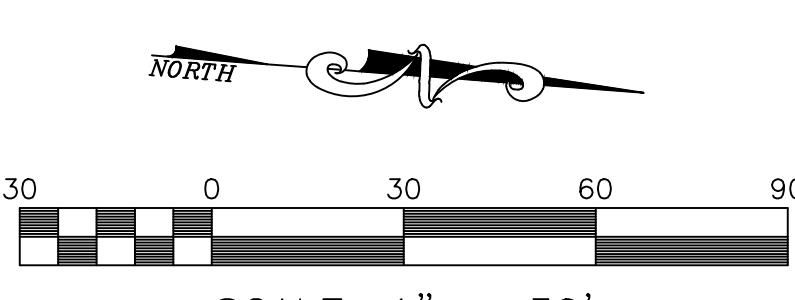
MULTI-STEM PLANTING DETAIL

NO SCALE



DEC. TREE PLANTING DETAIL

NO SCALE



WESTLAKE VILLAGE APARTMENTS

LANDSCAPE PLAN

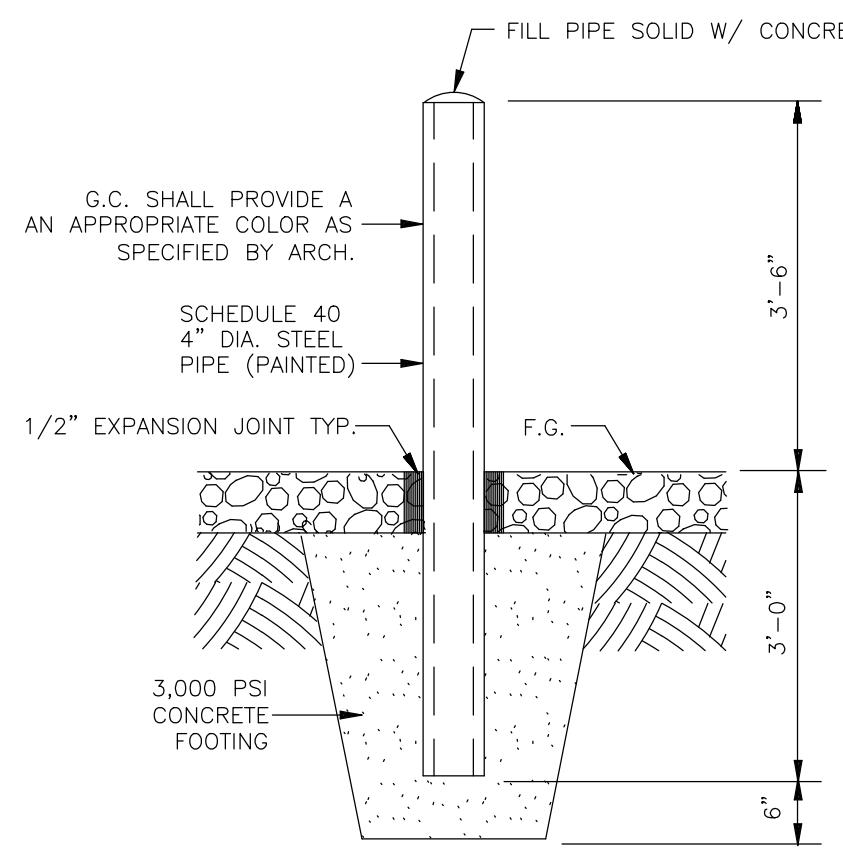
PHASE I
LANDSCAPE PLAN

GILLS CREEK DISTRICT
FRANKLIN COUNTY, VIRGINIA

1"

LANDSCAPE PLAN

1"

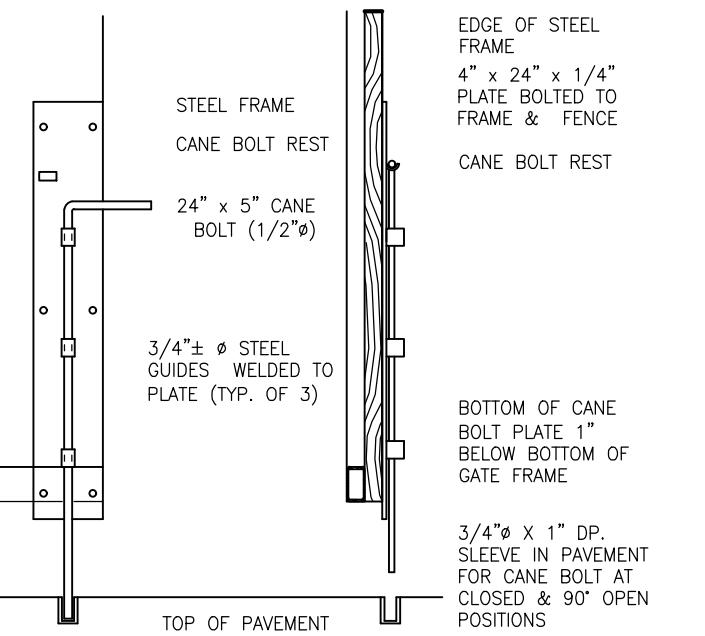


STEEL PIPE BOLLARD DETAIL

NO SCALE

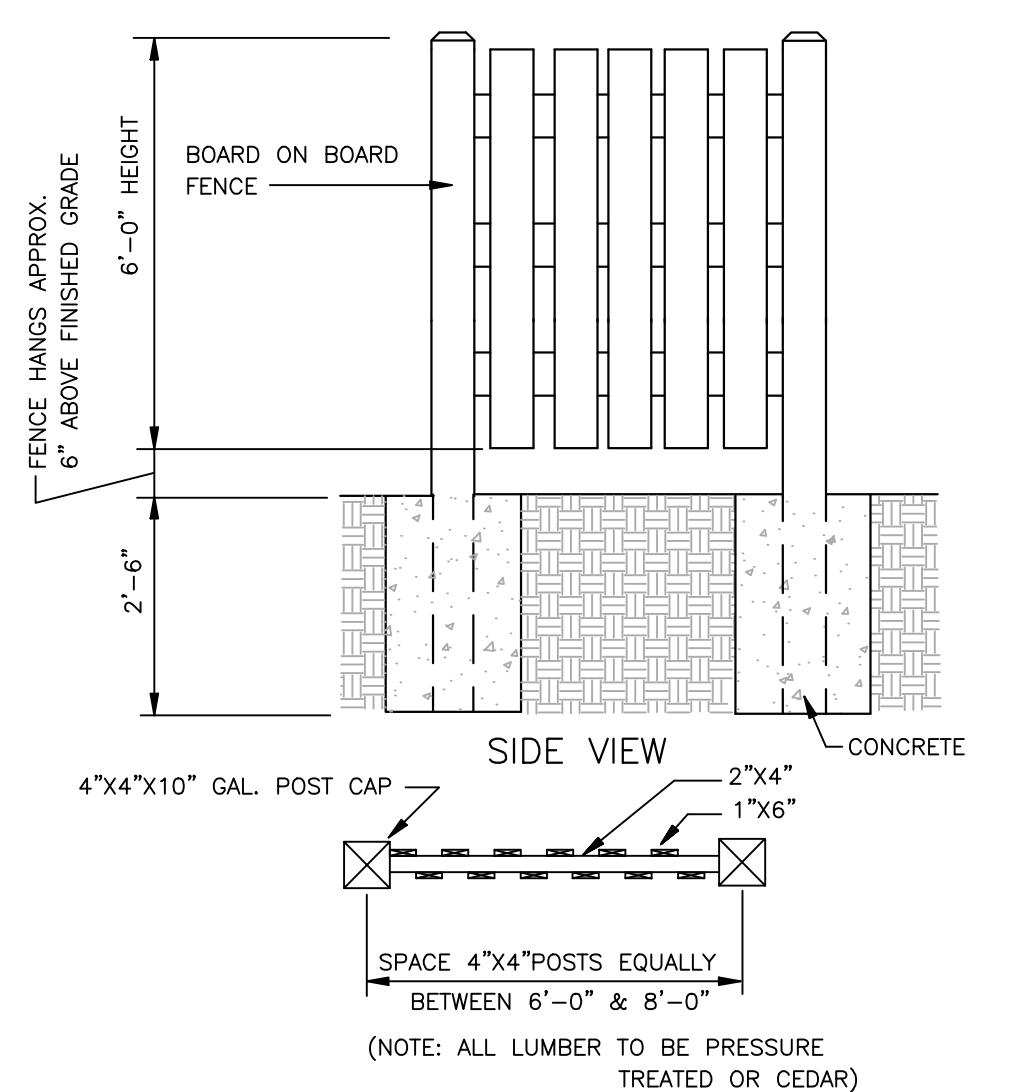
NOTE: 1. THE PROPOSED DUMPSTER ENCLOSURE SHALL BE A MINIMUM OF 1' HIGHER THAN THE DUMPSTER HEIGHT OR OTHER SIMILAR RECEPTACLE. G.C. TO CONFIRM THE PROPOSED DUMPSTER DIMENSIONS BEING USED PRIOR TO ANY CONSTRUCTION OF THE ENCLOSURE.

2. G.C. SHALL PROVIDE HEAVY DUTY HINGES AND A METAL FRAME AROUND EACH GATE TO ENSURE THAT THE PROPOSED GATE DOES NOT SAG AFTER INSTALLATION. THE FRAME SHALL BE PAINTED BLACK OR PAINTED TO MATCH THE PROPOSED GATE.



TRASH ENCLOSURE SECTION & GATE

N.T.S.



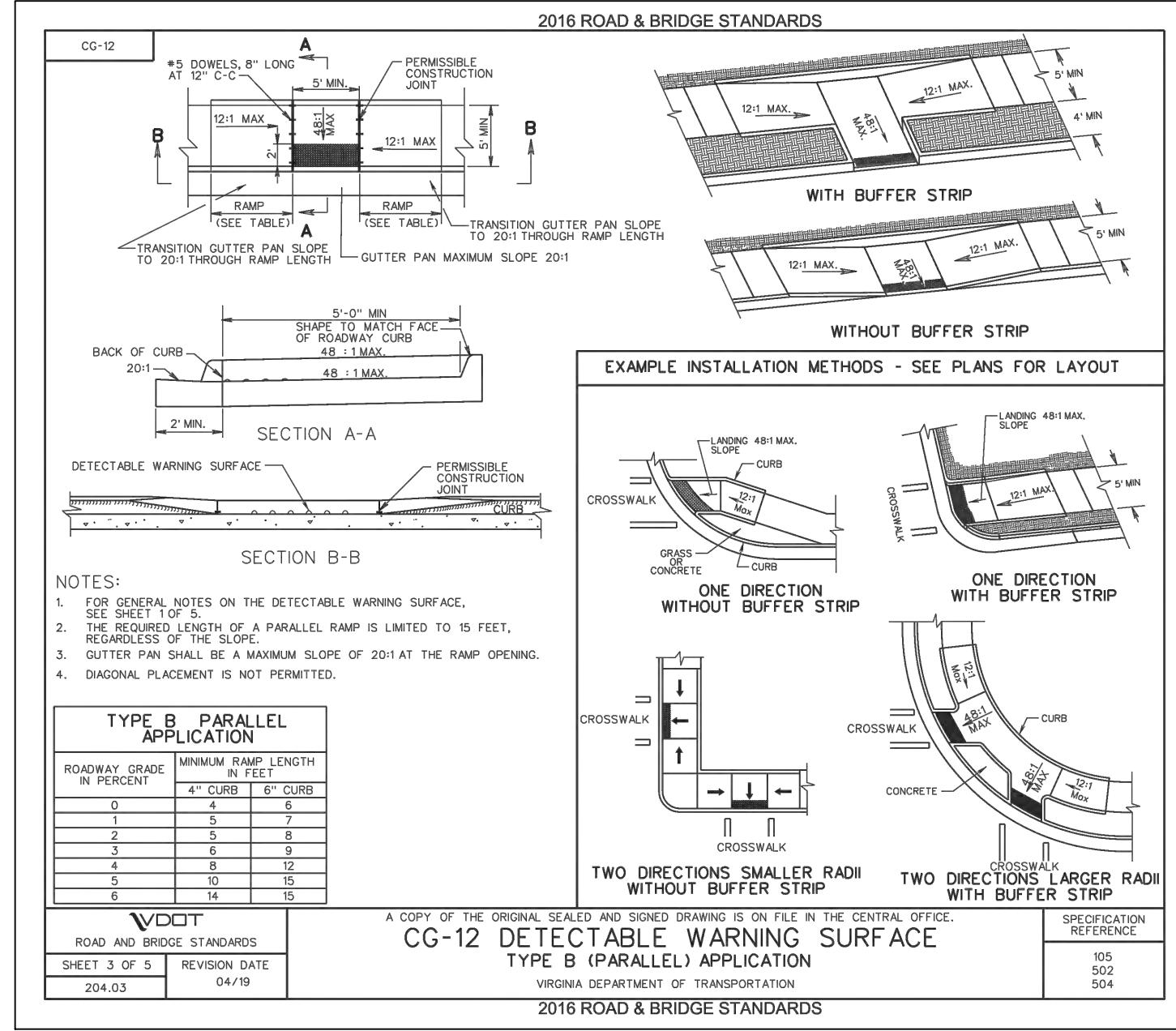
BOARD-ON-BOARD FENCE SURROUNDING DUMPSTER

NO SCALE

BOARD-ON-BOARD FENCE SURROUNDING DUMPSTER

NO SCALE

NOTE: 1.) CONCRETE TO BE AIR ENTRAINED 4,000 PSI



2016 ROAD & BRIDGE STANDARDS

CG-12 2016 DETECTABLE WARNING SURFACE

TYPE B (PARALLEL) APPLICATION

TYPE B (PARALLEL) APPLICATION

VGOT ROAD & BRIDGE STANDARDS

SHEET 3 OF 5 REVISION DATE 04/19

VGOT ROAD & BRIDGE STANDARDS

CG-12 DETECTABLE WARNING SURFACE

TYPE B (PARALLEL) APPLICATION

VGOT ROAD & BRIDGE STANDARDS

SHEET 105 OF 105 REVISION DATE 04/19

VGOT ROAD & BRIDGE STANDARDS

CG-12 DETECTABLE WARNING SURFACE

TYPE B (PARALLEL) APPLICATION

VGOT ROAD & BRIDGE STANDARDS

SHEET 502 OF 504 REVISION DATE 04/19

VGOT ROAD & BRIDGE STANDARDS

2016 ROAD & BRIDGE STANDARDS

CG-90 PEDESTRIAN ACCESS ROUTE DETAILS WITH & WITHOUT UPAVED SPACE

VGOT ROAD & BRIDGE STANDARDS

SHEET 1 OF 1 REVISION DATE 07/15

VGOT ROAD & BRIDGE STANDARDS

CG-90 PEDESTRIAN ACCESS ROUTE DETAILS WITH & WITHOUT UPAVED SPACE

VGOT ROAD & BRIDGE STANDARDS

SHEET 502 REVISION DATE 04/19

VGOT ROAD & BRIDGE STANDARDS

2016 ROAD & BRIDGE STANDARDS

HALF PLAN

VGOT ROAD & BRIDGE STANDARDS

SHEET 1-A OF 1 REVISION DATE 07/15

VGOT ROAD & BRIDGE STANDARDS

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VGOT ROAD & BRIDGE STANDARDS

GRADING NOTES

1. G.C. SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS.
2. REFER TO BUILDING PLANS FOR SUBGRADE AND UTILITY TRENCHES WITHIN 5' OF THE BUILDING ENVELOPE.
3. REMOVE TREES, SHRUBS, GRASS, AND OTHER VEGETATION, IMPROVEMENTS OR OBSTRUCTIONS AS REQUIRED TO PERMIT INSTALLATION OF NEW CONSTRUCTION. REMOVE TREES AND OTHER VEGETATION, INCLUDING STUMPS AND ROOTS, COMPLETELY IN AREAS REQUIRED FOR SUBSEQUENT SEEDING. CUT OFF TREES AND STUMPS IN AREAS TO RECEIVE FILL MORE THAN THREE FEET IN DEPTH TO WITHIN EIGHT INCHES OF THE ORIGINAL GROUND SURFACE.
4. BARRICADE OPEN EXCAVATIONS OCCURRING AS PART OF THIS WORK AND OPERATE WARNING LIGHTS AS RECOMMENDED BY AUTHORITIES HAVING JURISDICTION.
5. EXCAVATION FOR STRUCTURES:
 - a. CONFORM TO ELEVATIONS AND DIMENSIONS SHOWN WITHIN A TOLERANCE OF 0.1".
 - b. PROVIDE TRUE AND STRAIGHT FOOTING EXCAVATIONS WITH UNIFORM AND LEVEL BOTTOMS OF THE WIDTH INDICATED TO ENSURE PROPER PLACEMENT AND COVER OF ALL REINFORCEMENT.
 - c. REMOVE LOOSE MATERIALS FROM THE EXCAVATION PRIOR TO PLACEMENT OF CONCRETE.
 - d. FOOTINGS WHICH SUPPORT CONCRETE MASONRY UNITS MAY BE STEPPED PROVIDED THE VERTICAL STEP DOES NOT EXCEED ONE HALF OF THE HORIZONTAL DISTANCE BETWEEN STEPS AND HORIZONTAL DISTANCE BETWEEN STEPS IS NOT LESS THAN TWO FEET.
 - e. IF ROCK IS ENCOUNTERED IN A FOOTING EXCAVATION, UNDERCUT IT A MINIMUM EXCAVATION WITH CONTROLLED FILL.
6. CUT SURFACE UNDER PAVEMENTS TO COMPLY WITH CROSS SECTIONS, ELEVATIONS, AND GRADES AS INDICATED.
7. EXCAVATE TRENCHES TO UNIFORM WIDTH CONFORMING TO VDOT STANDARD PB-1 FOR STORM DRAINAGE PIPING.
8. PREVENT SURFACE WATER AND SUBSURFACE OR GROUND WATER FROM FLOWING INTO EXCAVATIONS AND FROM FLOODING PROJECT SITE AND SURROUNDING AREA. DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS. REMOVE WATER TO PREVENT SOFTENING OF FOUNDATION BOTTOMS, UNDERCUTTING FOOTINGS, AND SOIL CHANGES DETERIMENTAL TO STABILITY OF SUBGRADES AND FOUNDATIONS.
9. PROTECT EXCAVATED BOTTOMS OF ALL FOOTINGS AND TRENCHES AGAINST FREEZING WHEN ATMOSPHERIC TEMPERATURE IS LESS THAN 35°F (1°).
10. BACKFILLING SHALL BE A SUITABLE MATERIAL THAT IS CAPABLE OF ACHIEVING THE REQUIRED COMPACTION INDICATED ON THE DETAILS PAGE.
11. FINISH LAWN AREAS TO WITHIN ONE INCH ABOVE OR BELOW REQUIRED SUBGRADE ELEVATIONS. SHAPE SURFACE UNDER WALKS AND PAVEMENTS TO LINE, GRADE, AND CROSS SECTION, WITH NOT MORE THAN 1/2" ABOVE OR BELOW REQUIRED SUBGRADE ELEVATION.
12. GRADE SURFACE UNDER BUILDING SLABS SMOOTH AND EVEN, FREE OF Voids. PROVIDE FINAL GRADES WITHIN 1/2" OF THOSE INDICATED WHEN TESTED WITH A 10' STRAIGHT EDGE.
13. PROTECT GRADED AREAS FROM TRAFFIC AND EROSION. REPAIR AREAS WHICH HAVE SETTED, ERODED, OR BECOME DAMAGED DUE TO CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST TO OWNER.
14. PLACE ALL FILL AND BACKFILL AS CONTROLLED FILL AS FOLLOWS:
 - a. ESTABLISH SUITABLE SUBGRADE CONDITIONS PRIOR TO PLACING FILL BY PROOFROLLING, UNDERCUTTING AND COMPACTING AS NECESSARY.
 - b. PLACE FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH FOR HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4" FOR HAND TAMERS.
 - c. PRIOR TO COMPACTION, PROVIDE MOISTURE CONTENT TO WITHIN 3% OF OPTIMUM BY MOISTENING OR AERATING EACH LAYER. DO NOT PLACE FILL MATERIAL ON SURFACES WHICH ARE MUDDY, FROZEN OR CONTAIN FROST OR ICE.
 - d. COMPACT SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY ACCORDING WITH ASTM D 698 (STANDARD PROCTOR):
 - i. 95% UNDER PAVEMENT
 - ii. 85% UNDER LAWN OR UNPAVED AREAS
15. PREPARE AREA FOR PERMANENT STABILIZATION BY SPREADING TOPSOIL TO A DEPTH OF 4" OVER ALL DISTURBED AREAS NOT RECEIVING WALKS, PAVEMENT, WALLS OR BUILDING, INCLUDING TRENCHES. IMMEDIATELY FOLLOWING PLACEMENT OF TOPSOIL, DISK THE ENTIRE TOPSOILED AREA AND RAKE FREE OF STONES AND DEBRIS OVER 1/2" IN ANY DIMENSION. PROVIDE A FINISHED SURFACE FREE OF DEPRESSIONS OR HIGH SPOTS. PREPARE FOR SOD IMMEDIATELY.
16. OWNER (CONTRACTOR) SHALL EMPLOY QUALIFIED SOILS TESTING LABORATORY TO INSPECT EARTHWORK OPERATIONS. NOTIFY LABORATORY PRIOR TO PERFORMING EARTHWORK OPERATIONS.

GENERAL NOTES

PROVIDE NEW MATERIALS AND WORKMANSHIP IN CONFORMANCE WITH ALL APPLICABLE CODES, STATE AND FEDERAL LAWS, LOCAL ORDINANCES, INDUSTRY STANDARDS, AND OTHER CRITERIA WHICH WOULD NORMALLY APPLY TO WORK OF THIS NATURE. NOTIFY THE ENGINEER IMMEDIATELY UPON DISCOVERING A CONFLICT IN CODES, ORDINANCES, STANDARDS, OR OTHER CRITERIA. APPLICABLE CODES AND STANDARDS INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO, THE FOLLOWING:

- a. BOCA – BASIC CODES
- b. FRANKLIN COUNTY
- c. VDOT – VIRGINIA DEPARTMENT OF TRANSPORTATION ROAD AND BRIDGE STANDARDS AND SPECIFICATIONS
- d. VIRGINIA EMISSION AND SEDIMENT CONTROL REGULATIONS AND HANDBOOK
- e. OSHA – OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
- f. ASTM – AMERICAN SOCIETY FOR TESTING AND MATERIALS
- g. WESTERN VIRGINIA WATER AUTHORITY

OBTAI EACH REQUIRED PERMIT PRIOR TO COMMENCING THAT PART OF THE WORK. PAY REQUIRED FEES.

NOTIFY THE ENGINEER IMMEDIATELY UPON DISCOVERY OF CONDITIONS WHICH DIFFER FROM THOSE SHOWN ON THE PLANS.

COMPLY WITH LOCAL ORDINANCES FOR BURNING OF WASTE. TRANSPORT WASTE MATERIALS AND UNSUITABLE MATERIALS FROM OWNER'S PROPERTY.

VERIFY THE LOCATION AND ELEVATION OF EACH EXISTING UNDERGROUND UTILITY IN AREAS OF CONSTRUCTION PRIOR TO COMMENCEMENT OF WORK. CONTACT ENGINEER IMMEDIATELY IF THERE APPEARS TO BE A CONFLICT, UPON DISCOVERY OF A UTILITY WHICH IS NOT SHOWN, AND UPON DISCOVERY OF A LOCATION OR ELEVATION WHICH DIFFERS FROM THAT SHOWN. TO LOCATE UTILITIES, CALL "MISS UTILITY", 1-800-552-7001. UTILITY LOCATIONS SHOWN ARE THE RESULT OF A COMBINATION OF FIELD LOCATION AND EXISTING INFORMATION. LOCATIONS ARE APPROXIMATE.

REPAIR ALL DAMAGE TO ANY UTILITY, PUBLIC OR PRIVATE, CAUSED AS A RESULT OF CONSTRUCTION ACTIVITIES, AT NO ADDITIONAL COST TO OWNER.

NOTIFY OWNERS OF UTILITIES IN AREAS OF CONSTRUCTION PRIOR TO COMMENCEMENT OF EXCAVATION.

ANY SITE DEVELOPMENT OUTSIDE THE SCOPE OF THIS PLAN WILL REQUIRE ADDITIONAL PLAN REVIEW AND APPROVAL.

ADDITIONAL DRAINAGE STRUCTURES AND EASEMENTS MAY BE REQUIRED BY THE VIRGINIA DEPARTMENT OF TRANSPORTATION DUE TO ANY DEVIATIONS BETWEEN THE APPROVED PROPOSED CONTOURS AND THE AS-BUILT CONDITIONS OR ANY OTHER TOPOGRAPHIC CHANGES.

ANY SIGNAGE PROPOSED FOR THIS DEVELOPMENT SHALL COMPLY WITH THE APPLICABLE REGULATIONS OF THE FRANKLIN COUNTY ZONING ORDINANCE. A SEPARATE SIGN PERMIT AND APPROVAL WILL BE REQUIRED.

ANY NEW ALIGNMENTS, CHANGES IN GRADES, ALTERNATIVE PIPE SIZES OR MANHOLES WILL REQUIRE A NEW SET OF PLANS STAMPED BY THE CONSULTING ENGINEER. COUNTY ENGINEER WILL REVIEW PLANS WITHIN THREE DAYS OF SUBMITTAL. PLAN SHEETS CAN BE 8.5 X 11 IF THE INFORMATION IS LEGIBLE.

NO CONSTRUCTION/FIELD CHANGES WITHOUT APPROVAL OF THE CONSULTING ENGINEER AND FRANKLIN COUNTY AND TOWN OF ROCKY MOUNT.

WATER AND SEWER NOTES

1. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE LATEST WESTERN VIRGINIA REGIONAL DESIGN AND CONSTRUCTION STANDARDS, LATEST EDITION.
2. OBTAIN ALL REQUIRED PERMITS AND NOTIFY APPROPRIATE OFFICIALS AT LEAST THREE (3) DAYS PRIOR TO COMMENCEMENT OF WORK. OBTAIN INFORMATION FROM WESTERN VIRGINIA WATER AUTHORITY AND/OR BOTETOURT COUNTY CONCERNING PERMITS AND CONNECTIONS TO EXISTING LINES. WWA SHALL BE NOTIFIED IN WRITING AND MARK SINK SHALL BE CONTACTED AT (540) 537-3460.
3. ALL WORK SHALL BE SUBJECT TO INSPECTION BY WESTERN VIRGINIA WATER AUTHORITY AND/OR BOTETOURT COUNTY. NOTIFY APPROPRIATE OFFICIALS PRIOR TO COMMENCEMENT OF WORK.
4. SITE SHALL BE TO SUBGRADE PRIOR TO INSTALLATION OF UTILITIES. ALL UTILITIES SHALL BE IN PLACE PRIOR TO PLACEMENT OF PAVEMENT BASE MATERIAL.
5. USE SELECT MATERIAL FREE FROM FROST, LARGE CLODS, STONES, AND DEBRIS FOR BACKFILL FROM THE BOTTOM OF THE TRENCH TO TWELVE (12) INCHES ABOVE THE PIPE.
6. MINIMIZE ANY DISTURBANCE TO EXISTING WATER SERVICE, SEWER LINES OR ANY OTHER UTILITY DURING CONSTRUCTION AND PROVIDE QUALITY WORKMANSHIP.
7. MAKE ALL PIPE JOINTS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND/OR WESTERN VIRGINIA WATER AUTHORITY SPECIFICATIONS. MAKE JOINTS BETWEEN DIFFERENT PIPE MATERIALS WITH STANDARD FITTINGS MANUFACTURED FOR THE PURPOSE.
8. MAINTAIN ALL WATER LINES AT TEN (10) FEET HORIZONTAL SEPARATION FROM SEWER LINES AND MANHOLES; MEASURE THE DISTANCE EDGE-TO-EDGE. WHEN LOCAL CONDITIONS PREVENT THE DESIRED HORIZONTAL SEPARATION, THE WATERLINE MAY BE LAID CLOSER TO THE SEWER OR MANHOLE PROVIDED THAT THE BOTTOM OF THE WATERLINE SHALL BE AT LEAST EIGHTEEN (18) INCHES ABOVE THE TOP OF THE SEWER. WHERE THIS VERTICAL SEPARATION CANNOT BE OBTAINED, ADDITIONAL MEASURES WILL BE REQUIRED IN ACCORDANCE WITH WWA STANDARDS.
9. LOCATE AND UNCOVER VALVE VIALS AND MANHOLES AFTER PAVING AND ADJUST TO FINAL GRADE, IF NECESSARY.
10. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS WHERE UTILITIES ENTER THE BUILDING.
11. PRIOR TO COMMENCING ANY UNDERGROUND PIPE CONSTRUCTION OR GRADING (EXCAVATION), THE GENERAL CONTRACTOR SHALL CALL MISS UTILITY OF VIRGINIA (TOLL FREE 1-800-552-7001) AT LEAST 48 HOURS PRIOR TO COMMENCING. THE G.C. IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO ANY UTILITY, PUBLIC OR PRIVATE, AS A RESULT OF NOT CONTACTING MISS UTILITY AND SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER/DEVELOPER.
12. EXISTING UTILITY LOCATIONS SHOWN ARE A RESULT OF FIELD SURVEYS, AVAILABLE RECORDS, AND PREVIOUSLY APPROVED PLANS. LOCATIONS ARE APPROXIMATE. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON THE PLANS IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT THE ENGINEER IMMEDIATELY IF: 1) ANY LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLANS. 2) IF THERE APPEARS TO BE ANY CONFLICT. UPON DISCOVERY OF ANY UTILITY NOT SHOWN ON THE PLANS, G.C. SHALL CALL "MISS UTILITY" OF VIRGINIA AND/OR BOTETOURT COUNTY AND/OR WESTERN VIRGINIA WATER AUTHORITY.
13. PROVIDE A CONTINUOUS AND UNIFORM BEDDING IN THE TRENCH FOR ALL PIPE. REMOVE STONES AND ROCKS FOUND IN THE TRENCH FOR A DEPTH OF AT LEAST SIX (6) INCHES BELOW THE BOTTOM OF THE PIPE AND TAMP SELECT FILL BEDDING PROVIDED. AFTER THE PIPE HAS BEEN PLACED IN THE TRENCH, BACKFILL THE TRENCH WITH SELECT MATERIAL, THOROUGHLY COMPACT TO 90% (95% UNDER PAVEMENT OR CONCRETE SLAB) OF THE STANDARD PROCTOR (ASTM D-698) USING CARE NOT TO DAMAGE THE PIPE. USE VDOT STANDARD D-698 TRENCH FOR STORM SEWER AND UB-1 FOR SANITARY SEWER AND WATER.
14. PLACE BACKFILL FOR ALL WATER AND SEWER UTILITIES IN ACCORDANCE WITH WESTERN VIRGINIA WATER AUTHORITY SPECIFICATIONS, AND THE FOLLOWING CRITERIA: 1) BACKFILL NO TRENCH UNTIL INSPECTED BY WESTERN VIRGINIA WATER AUTHORITY. MATERIALS USED FOR BACKFILL FROM THE BOTTOM OF THE TRENCH TO TOP OF THE PIPE SHALL BE CRUSHER RUN, OR APPROVED EQUAL MATERIAL, THOROUGHLY AND CAREFULLY COMPACT THE BACKFILL MATERIAL. 2) COMPACT BACKFILL BY MECHANICAL TAMPING THROUGHOUT THE DEPTH OF THE TRENCH TO ENSURE A SUITABLE SUBBASE ACCEPTABLE TO THE ROAD ENGINEER. IF THE MATERIAL TAKEN FROM THE DITCH IS NOT SUITABLE FOR BACKFILLING, REMOVE IT AND USE AN ACCEPTABLE MATERIAL FOR BACKFILLING.
15. IN AREAS OF WATER LINE CONSTRUCTION, GRADES SHALL BE WITHIN SIX (6) INCHES OF FINAL GRADE PRIOR TO BEGINNING CONSTRUCTION.
16. MINIMUM COVER OVER ALL WATER AND SANITARY SEWER LINES SHALL BE THREE (3) FEET.
17. THE CONTRACTOR SHALL INSTALL ALL WATER SERVICE CONNECTIONS AND METER BOXES.
18. CONNECT PIPE TO MANHOLES THROUGH PRE CAST OPENINGS AND JOIN WITH EITHER A FLEXIBLE BOOT ADAPTER OR A PIPE SEAL GASKET.
19. FIELD CORRECTIONS SHALL BE APPROVED BY THE WESTERN VIRGINIA WATER AUTHORITY PRIOR TO SUCH CONSTRUCTION.

SITE CONSTRUCTION PLAN GENERAL NOTES

1. WORK DONE IN THE PROPOSED OR EXISTING RIGHT-OF-WAY, INCLUDING BUT NOT LIMITED TO STREET GRADING, STREET PAVING, AND ALL CONSTRUCTION OF ALL STRUCTURAL COMPONENTS, SHALL BE DONE IN ACCORDANCE WITH CURRENT VIRGINIA DEPARTMENT OF TRANSPORTATION ROAD AND BRIDGE STANDARDS AND SPECIFICATIONS, WHERE APPLICABLE.
2. THE LOCATION OF EXISTING UTILITIES AS SHOWN IS APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION WORK AND NOTIFY ENGINEER IMMEDIATELY IF LOCATIONS DIFFER FROM PLANS.
3. THE CONTRACTOR SHALL NOTIFY 'MISS UTILITY' AT 1-800-552-7001 OR B11 PRIOR TO ANY CONSTRUCTION WORK IN THIS AREA.
4. CURB AND GUTTER
 1. THE CONTRACTOR SHALL USE A MINIMUM OF THREE (3) RUNNING CONSTRUCTION STAKES TO AVOID HARD BREAK LINES IN THE CURB – UNLESS SPECIFICALLY CALLED FOR ON THE PLANS.
 2. THE MINIMUM LONGITUDINAL SLOPE FOR GUTTER PAN IS 0.5%, UNLESS OTHERWISE NOTED ON PLANS.
 3. A MINIMUM 20-FOOT TRANSITION FROM CG-6 TO CG-7 IS REQUIRED, UNLESS OTHERWISE NOTED ON THE PLANS.
 4. ALL CURB AND GUTTER SHOWN ON THE PLANS SHALL BE VDOT CG-6, CG-2, OR CG-7, UNLESS SPECIFICALLY NOTED OTHERWISE.
5. UNDERGROUND UTILITIES
 1. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING LINE AND GRADE FOR ALL DRY UTILITIES PRIOR TO THE START OF CONSTRUCTION.
 2. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING DRY UTILITY LINES AND GRADES AGAINST ALL PROPOSED UTILITIES SHOWN ON THE PLANS. POTENTIAL CONFLICTS SHALL BE REPORTED TO THE ENGINEER AS SOON AS POSSIBLE.
 3. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING TELEPHONE, CABLE, FIBER OPTIC, AND ELECTRICAL SERVICES TO THE PROJECT. CONTACT UTILITY PROVIDERS AS SOON AS POSSIBLE TO BEGIN COORDINATION.
 4. THE CONTRACTOR SHALL REVIEW SITE AND BUILDING DRAWINGS TO VERIFY COORDINATION OF UTILITY INVERTS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AND ENGINEER PRIOR TO INSTALLATION.
6. SIDEWALKS AND SITE STAIRS
 1. ALL SITE STAIRS SHALL BE FURNISHED WITH VDOT HR-1 ON BOTH SIDES OF THE STAIRS.
 2. ALL SITE STAIRS SHALL BE CONSTRUCTED IN ACCORDANCE WITH VDOT ADA/ANSI STANDARDS AND SPECIFICATIONS, UNLESS SPECIFICALLY NOTED OTHERWISE.
 3. SIDEWALKS SHALL BE INSTALLED WITH A MAXIMUM 2% CROSS-SLOPE.
 4. SIDEWALKS SHALL BE BROOM FINISHED, UNLESS NOTED OTHERWISE ON THE PLANS.
 5. SIDEWALKS SHALL BE 5-FEET IN WIDTH, UNLESS NOTED OTHERWISE ON THE PLANS.
 6. REFER TO ARCH. PLANS FOR ADDITIONAL SPECIFICATIONS.
7. ROOF DRAINS AND DOWN SPOUTS
 1. ALL DOWNSPOUTS NOT CONNECTED TO STORM SEWER SHALL BE FURNISHED WITH SPLASH BLOCKS.
 2. ALL DOWNSPOUTS SHALL BE FURNISHED WITH A DOWNSPOUT/ROOFDRAIN TRANSITION BOOT. STUBBING OF DOWNSPOUT INTO ROOF DRAIN LATERAL WITHOUT A SUITABLE BOOT TRANSITION IS NOT PERMITTED.
 3. ALL ROOF DRAIN LATERALS SHALL BE INSTALLED IN ACCORDANCE WITH THE PREVAILING LOCAL JURISDICTIONAL PLUMBING CODE OR THE INTERNATIONAL PLUMBING CODE, WHICHEVER IS MORE STRINGENT.
 4. MINIMUM ALLOWABLE SLOPE FOR 4-INCH ROOF DRAIN LATERAL IS 2.08%.
 5. MINIMUM ALLOWABLE SLOPE FOR 6-INCH ROOF DRAIN LATERAL IS 1.04%.
 6. ROOF DRAIN LATERALS SHALL BE 6-INCH DIAMETER (SMOOTH-WALLED), UNLESS NOTED OTHERWISE ON THE PLANS.
8. BUILDING DOORS AND GRADES
 1. A MINIMUM 5'X5' PAD SHALL BE INSTALLED AT ALL BUILDING DOOR LOCATIONS (MAXIMUM 2% SLOPE IN ANY DIRECTION). COMPLY WITH ADA DOOR CLEARANCE REQUIREMENTS FOR PAD POSITIONING OUTSIDE OF THE DOOR.
 2. FINISHED GRADE SHALL BE 6-INCHES BELOW FINISHED FLOOR ELEVATION ALONG ALL BUILDING WALLS, IN AREAS WHERE PERVIOUS SURFACES ARE PROVIDED, UNLESS OTHERWISE NOTED. FINISHED GRADE FOR AREAS TO BE MULCHED SHALL BE AT TOP OF MULCH. FINISHED GRADE FOR AREAS TO RECEIVE SOD SHALL BE TO TOP OF SOD.
 3. ALL PERVIOUS SURFACES SHALL BE INSTALLED WITH A MINIMUM OF 2% SLOPE AWAY FROM THE BUILDING (FOR A MINIMUM OF 10-FEET), TO PROVIDE FOR POSITIVE DRAINAGE.
 4. CONTRACTOR SHALL COORDINATE LOCATION OF WEEP HOLES ALONG ALL BUILDING WALLS AND VERIFY REQUIRED SEPARATION BETWEEN WEEP HOLES AND FINISHED GRADES.
 5. CONTRACTOR SHALL REVIEW GRADING ALONG BUILDINGS WITH STOREFRONTS TO VERIFY REQUIRED SEPARATION IS PROVIDED.

CONSTRUCTION SITE PLAN GENERAL NOTES

CONSTRUCTION METHODS

1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT VIRGINIA DEPARTMENT OF TRANSPORTATION ROAD AND BRIDGE SPECIFICATIONS, VIRGINIA DEPARTMENT OF TRANSPORTATION ROAD AND BRIDGE STANDARDS, AND LOCAL JURISDICTIONAL STANDARDS AND SPECIFICATIONS, WHERE APPLICABLE.

2. THE LOCATION OF EXISTING UTILITIES AS SHOWN IS APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION WORK AND NOTIFY ENGINEER IMMEDIATELY IF LOCATIONS DIFFER FROM PLANS.
3. THE CONTRACTOR SHALL NOTIFY 'MISS UTILITY' AT 1-800-552-7001 OR B11 PRIOR TO ANY CONSTRUCTION WORK IN THIS AREA.

4. CURB AND GUTTER
 1. THE CONTRACTOR SHALL USE A MINIMUM OF THREE (3) RUNNING CONSTRUCTION STAKES TO AVOID HARD BREAK LINES IN THE CURB – UNLESS SPECIFICALLY CALLED FOR ON THE PLANS.
 2. THE MINIMUM LONGITUDINAL SLOPE FOR GUTTER PAN IS 0.5%, UNLESS OTHERWISE NOTED ON PLANS.
 3. A MINIMUM 20-FOOT TRANSITION FROM CG-6 TO CG-7 IS REQUIRED, UNLESS OTHERWISE NOTED ON THE PLANS.
 4. ALL CURB AND GUTTER SHOWN ON THE PLANS SHALL BE VDOT CG-6, CG-2, OR CG-7, UNLESS SPECIFICALLY NOTED OTHERWISE.

5. UNDERGROUND UTILITIES
 1. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING LINE AND GRADE FOR ALL DRY UTILITIES PRIOR TO THE START OF CONSTRUCTION.
 2. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING DRY UTILITY LINES AND GRADES AGAINST ALL PROPOSED UTILITIES SHOWN ON THE PLANS. POTENTIAL CONFLICTS SHALL BE REPORTED TO THE ENGINEER AS SOON AS POSSIBLE.
 3. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING TELEPHONE, CABLE, FIBER OPTIC, AND ELECTRICAL SERVICES TO THE PROJECT. CONTACT UTILITY PROVIDERS AS SOON AS POSSIBLE TO BEGIN COORDINATION.
 4. THE CONTRACTOR SHALL REVIEW SITE AND BUILDING DRAWINGS TO VERIFY COORDINATION OF UTILITY INVERTS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AND ENGINEER PRIOR TO INSTALLATION.

6. SIDEWALKS AND SITE STAIRS
 1. ALL SITE STAIRS SHALL BE FURNISHED WITH VDOT HR-1 ON BOTH SIDES OF THE STAIRS.
 2. ALL SITE STAIRS SHALL BE CONSTRUCTED IN ACCORDANCE WITH VDOT ADA/ANSI STANDARDS AND SPECIFICATIONS, UNLESS SPECIFICALLY NOTED OTHERWISE.
 3. SIDEWALKS SHALL BE INSTALLED WITH A MAXIMUM 2% CROSS-SLOPE.
 4. SIDEWALKS SHALL BE BROOM FINISHED, UNLESS NOTED OTHERWISE ON THE PLANS.
 5. SIDEWALKS SHALL BE 5-FEET IN WIDTH, UNLESS NOTED OTHERWISE ON THE PLANS.
 6. REFER TO ARCH. PLANS FOR ADDITIONAL SPECIFICATIONS.

7. ROOF DRAINS AND DOWN SPOUTS
 1. ALL DOWNSPOUTS NOT CONNECTED TO STORM SEWER SHALL BE FURNISHED WITH SPLASH BLOCKS.
 2. ALL DOWNSPOUTS SHALL BE FURNISHED WITH A DOWNSPOUT/ROOFDRAIN TRANSITION BOOT. STUBBING OF DOWNSPOUT INTO ROOF DRAIN LATERAL WITHOUT A SUITABLE BOOT TRANSITION IS NOT PERMITTED.
 3. ALL ROOF DRAIN LATERALS SHALL BE INSTALLED IN ACCORDANCE WITH THE PREVAILING LOCAL JURISDICTIONAL PLUMBING CODE OR THE INTERNATIONAL PLUMBING CODE, WHICHEVER IS MORE STRINGENT.
 4. MINIMUM ALLOWABLE SLOPE FOR 4-INCH ROOF DRAIN LATERAL IS 2.08%.
 5. MINIMUM ALLOWABLE SLOPE FOR 6-INCH ROOF DRAIN LATERAL IS 1.04%.
 6. ROOF DRAIN LATERALS SHALL BE 6-INCH DIAMETER (SMOOTH-WALLED), UNLESS NOTED OTHERWISE ON THE PLANS.

8. BUILDING DOORS AND GRADES
 1. A MINIMUM 5'X5' PAD SHALL BE INSTALLED AT ALL BUILDING DOOR LOCATIONS (MAXIMUM 2% SLOPE IN ANY DIRECTION). COMPLY WITH ADA DOOR CLEARANCE REQUIREMENTS FOR PAD POSITIONING OUTSIDE OF THE DOOR.

9. FINISHED GRADE SHALL BE 6-INCHES BELOW FINISHED FLOOR ELEVATION ALONG ALL BUILDING WALLS, IN AREAS WHERE PERVIOUS SURFACES ARE PROVIDED, UNLESS OTHERWISE NOTED. FINISHED GRADE FOR AREAS TO BE MULCHED SHALL BE AT TOP OF MULCH. FINISHED GRADE FOR AREAS TO RECEIVE SOD SHALL BE TO TOP OF SOD.

10. ALL PERVIOUS SURFACES SHALL BE INSTALLED WITH A MINIMUM OF 2% SLOPE AWAY FROM THE BUILDING (FOR A MINIMUM OF 10-FEET), TO PROVIDE FOR POSITIVE DRAINAGE.

11. CONTRACTOR SHALL COORDINATE LOCATION OF WEEP HOLES ALONG ALL BUILDING WALLS AND VERIFY REQUIRED SEPARATION BETWEEN WEEP HOLES AND FINISHED GRADES.

12. CONTRACTOR SHALL REVIEW GRADING ALONG BUILDINGS WITH STOREFRONTS TO VERIFY REQUIRED SEPARATION IS PROVIDED.

APPROVAL BLOCK

